

“Placerville, a Unique Historical Past Forging into a Golden Future”



**City of Placerville Planning Commission
 STAFF REPORT**

SUBJECT: A request for Site Plan Review for the construction of a pedestrian footbridge over Hangtown Creek off the rear deck of the Lower Fairchild commercial building located at 425 Main Street, Placerville, CA. The footbridge serves Powell’s Steamer Co. restaurant and bar within the building to allow required egress for maximum Building Occupancy Load.

PROJECT ADDRESS: 425 Main Street, Placerville

ASSESSOR’S PARCEL NUMBER: 001-211-12

FILE NO: SPR 16-06

PREPARED BY: Andrew Painter, City Planner

RECOMMENDATION: Approve Site Plan Review (SPR) 16-06 subject to findings and conditions.

SITE DATA

Address	425 Main Street	<p>Project Site: Lower Fairchild Building 425 Main Street - SPR 16-06</p>
Applicant	Les Russell	
Property Owner	Gail J. and Lester S. Russell Trust	
Zoning	Central Business District (CBD)	
General Plan	Central Business District (CBD)	
Environmental Status	Categorically Exempt (CEQA Guidelines Section 15311, placement of a minor structure accessory to a commercial facility)	

1.0 AUTHORITY FOR APPLICATION

- City Code Section 8-3-28: Hangtown Creek Encroachment: The construction or reconstruction of a structure in the Hangtown Creek area requires Site Plan Review as provided in subsection 10-4-9(C-9);
- City Code Section 10-3-1(C): The Planning Commission is charged to act upon all site plan applications.

2.0 PROJECT INFORMATION

2.1 Site Information/Setting

The project site is a 0.10 acre parcel, or approximately 4,200 square feet, located in downtown Placerville. The site is entirely covered by the two-story Lower Fairchild Building (Building). See Figure 1.

The site and the immediate surroundings have a General Plan land use designation and Zoning classification of Central Business District (CBD). North of the site is bounded by Hangtown Creek and US Highway 50. See Figure 2.

The Building contains the addresses 425, 429 and 433 Main Street. It is listed on the City's Historic Resource Inventory (Exhibit A). Construction dates to the early 1900s. Assessor's Records indicate the building has 8,240 square feet of floor area. It is occupied by several tenants, including the ground floor Powell's Steamer eating and drinking establishment and the Pop Art retail business. Upstairs are several health and beauty related services.

Figure 1. Street View of 425 Main Street, Placerville



Figure 2. Aerial View of Project Location



Project Site

Along the north side of the Building is Hangtown Creek. An existing braced deck covers a portion of the creek. This deck is used by Powell's Steamer patrons and employees. Beneath the deck and within the creek is a City sewer manhole. See Figure 3.

Figure 3. Existing North (Rear) Elevation of Lower Fairchild Building and Deck; Hangtown Creek and Sewer Manhole



2.2 Project Description

The request involves the construction of a pedestrian footbridge that would span the width of Hangtown Creek, immediately north of the Building. The footbridge would connect to the existing deck located along the building’s north elevation for the first floor eating and drinking establishment (Powell’s Steamer) to a footing that would be constructed on the north side of the Creek on City property. The footbridge would provide required egress (emergency exit) in order for the Powell’s Steamer business to be permitted occupancy for greater than 49 persons.

The Applicant Submittal Package (Attachment 2) contains site plan, footbridge (elevated walk) engineering details, and survey information for the proposed location.

Footbridge materials include:

- structural steel framework;
- Trex composite decking comprise surfacing;
- a guard consisting of pressure treated Douglas Fir 4x4 posts railings and railings, chain link fencing, gate, and
- concrete footing.

Survey information includes a “Vertical Relationship” exhibit prepared by Jack Sweeney, LS for the applicant. This exhibit provides elevation information described in feet above sea level of the Hangtown Creek flood plain (1848), the existing Building deck and the top of proposed footbridge walkway (1846.73), as well as other spot elevations of the proposed footbridge. Based on the elevations provided, the footbridge supporting structure and bridge deck would be within the Creek flood plan elevation, inundated during the 100-year flood event.

3.0 PROJECT ANALYSIS

3.1 Consistency with the General Plan and Zoning Regulations

General Plan

The General Plan’s Health and Safety (Section VI) and Community Design (Section VII) contain goals and policies relative to the footbridge request and its proposed location over Hangtown Creek.

Section VI. Goal C: To prevent loss of lives, injury, and property damage due to flooding.

Policy 3. Non-residential development shall be anchored and flood-proofed to prevent damage from 100-year flood, or alternatively, elevated to at least one foot above the 100-year flood level.

Section VII. Goal B: To protect and upgrade the visual and historical character of downtown.

Policy 5. The City shall promote design concepts which will contribute to better pedestrian convenience and safety.

Section VII. Goal I: To promote architectural quality throughout Placerville.

Policy 1. The City shall ensure that new development will be a positive addition to the city’s environment and not detract from the nature and character of appropriate nearby established development because of architectural style, scale, or location.

The request is consistent with the above General Plan goals and policies. The intended purpose of the footbridge is to provide an additional building egress for the Powell’s business to accommodate building occupancy of more than 49 persons, enhancing pedestrian convenience and safety. Footbridge design appearance and materials proposed would be a positive addition to the Creek corridor and not detract from the nature or character of the adjacent development. The composite Trex footbridge walkway decking would match that used on the existing Building deck. Similarly, the Building deck posts and the footbridge deck posts use the same pressure-treated lumber. In addition, proposed metal and pressure-treated materials are flood-proofed to prevent damage from a 100-year flood event.

Zoning Regulations

Section 10-4-9(H-3): Site Plan Review

The Lower Fairchild Building is listed on the City’s Historic Resource Inventory. A minor alteration to the Building would occur from the request. The footbridge’s support structure would be attached to the Building but below the existing deck. As mentioned, the footbridge materials and those of the existing Building deck are compatible and comparable and are therefore consistent with Site Plan Review design criteria.

Other Considerations

The proposed location and alignment of the footbridge and its support structure was evaluated by staff. Its alignment would obstruct City personnel access to the City’s existing sewer manhole. Staff has conditioned the request to require shifting the placement of the footbridge to allow access. Revised plans will be required as part of the construction and encroachment permit process and reviewed and approved at a location acceptable by the Community Services and Development Services Departments.

3.2 Environmental Analysis

This project is exempt from the provisions of CEQA, as it falls within a Class 11 categorical exemption as listed in Title 14, Chapter 3, Article 19 of the California Code of Regulations.

A Class 11 (CEQA Guidelines, §15311) exemption applies to the construction or placement of minor structures accessory to an existing commercial use and facilities. The request involves the construction of a footbridge, a minor structure, for an existing commercial use and building for emergency egress purposes.

4.0 REVIEW AND COMMENT

The applicant’s submittal package was submitted to the El Dorado County Fire Protection District and the Building and Engineering Division of the Development Services Department for review. The Fire District has approved the plans. The Engineering Division has conditioned the request to require the shifting of the placement of the footbridge to allow access to the City’s sewer manhole, and will require an encroachment permit per the requirements of City Code Section 8-3-28. The Building Division will require the completion of the construction permit process for the proposed work.

5.0 CONCLUSION

Staff recommends the Commission approve the request, taking the following action regarding SPR 16-06:

- I.** Find that SPR 16-06 is categorically exempt under §15311 of the California Environmental Quality Act Guidelines, in that §15311 exempts minor structures accessory to an existing commercial uses and facilities and that the request involves the construction of a footbridge, a minor structure, for an existing commercial use and building for emergency egress purposes.

- II.** Make the following Findings of Fact for SPR 16-06:
 - A. The Lower Fairchild Building is listed on the City’s Historic Resource Inventory.

- B. The request, a footbridge, is a structure and not a building as defined under City Code Section 10-1-4 in that it does not have a roof.
 - C. The project is consistent with General Plan Section VI. Health and Safety, Goal C and Policy 3, in that the footbridge and its flood-proofed materials would provide an additional building egress for the business at 425 Main Street to accommodate building occupancy of more than 49 persons, enhancing pedestrian convenience and safety in an emergency.
 - D. The project is consistent with General Plan Section VII. Community Design, Goal B and Policy 5, and Goal I and Policy 1, in that the footbridge design appearance and materials present a positive addition to the Creek corridor, they do not detract from the nature or character of the development nearby, and the composite footbridge walkway decking and pressure treated posts and rails are comparable and compatible to that used on the existing Building deck.
 - E. The project is consistent with Criteria 8. Community Design, of the Site Plan Review Ordinance (Section 10-4-9), in that the project is found to be consistent with the goals and policies established in the Community Design Element of the General Plan.
 - E. The project was reviewed and is consistent with the purpose, intent and criteria of Zoning Ordinance Sections 10-4-9: Site Plan Review. Make the following finding in support of SPR 16-06:
 - 1. A minor alteration to the Building would occur from the request. The footbridge's support structure would be attached to the Building but below the existing deck. The footbridge materials and those of the existing Building deck are compatible and comparable and are therefore consistent with Site Plan Review design criteria.
- III.** Conditionally approve the project request, 425 Main Street – SPR 16-06, subject to the conditions of approval provided as Attachment 1.

6.0 ATTACHMENTS:

- 1. Draft SPR 16-06 Conditions of Approval
- 2. Applicant Submittal Package

Attachment 1

SPR 16-06 Conditions of Approval

1. Approval is based upon and limited to compliance with the project description, the Conditions of Approval set forth below, and the hearing:

The project description is as follows: The design of the pedestrian footbridge over Hangtown Creek, from the Lower Fairchild Building located at 425 Main Street, APN 001-211-12, to property along the north side of Hangtown Creek owned by the City. Materials and appearance of the footbridge shall be consistent with those on Sheet 1 and 2, prepared by Lori Burne, PE, dated 09.22.16, or as modified by the Planning Commission.

2. An Encroachment Permit, per City Code Section 8-3-28 (Hangtown Creek Encroachment), shall be obtained from the City Engineer prior to issuance of a construction permit for the request. The Encroachment Permit is subject to the following conditions:
 - 1) The proposed alignment of the bridge obstructs access to an existing City sewer manhole. The bridge must be shifted so that it is clear of the sewer manhole structure, and existing access is not reduced. Re-submission of the plans is required after revision.
 - 2) Hangtown Creek is located within the City right-of-way. The proposed bridge and the existing deck over the creek are encroachments; therefore an Agreement for Structure Located in the City of Placerville Right-of-Way is required. The agreement should be completed and recorded by the Applicant prior to construction.
3. The Applicant's submitted engineered plans for the proposed pedestrian bridge located within the 100-year floodplain are subject to review and approval by the City Floodplain Administrator and Building Official prior to issuance of the building permit. The plans shall be prepared and reviewed in accordance with City Code Chapter 9 Flood Damage Protection.
4. Any deviations from the project description, conditions, or exhibits shall be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit. Deviations without the above described approval will constitute a violation of permit approval.
5. SPR 16-06 shall become effective eleven (11) days after the Commission granted the permit unless an appeal has been filed, in which case the SPR shall not become effective until the granting of the permit is affirmed on appeal by City Council.

Attachment 2

Applicant Submittal Package

RECEIVED

NOV 16 2016

CITY OF PLACERVILLE
COMMUNITY DEV. DEPT.

CITY OF PLACERVILLE
PLANNING APPLICATION

Date: 11/16/16
Zoning: CPD GP: _____
File No: SP16-06
Filing Fee (PZ) \$500.00
Filing Fee (EN) _____
Receipt No: 8795

REQUEST FOR:

- | | | |
|--|---|--|
| <input type="checkbox"/> Annexation | <input type="checkbox"/> Boundary Line Adjustment | <input type="checkbox"/> Certificate of Compliance |
| <input type="checkbox"/> Conditional Use Permit | <input type="checkbox"/> Environmental Assessment | <input type="checkbox"/> Environmental Impact Report |
| <input type="checkbox"/> Final Subdivision Map | <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> General Plan Consistency |
| <input type="checkbox"/> Historic District Review | <input type="checkbox"/> Landscape Plan Review | <input type="checkbox"/> Minor Deviation |
| <input type="checkbox"/> Planned Development Overlay | <input type="checkbox"/> Preliminary Plan Review | <input type="checkbox"/> Sign Package Review / Amendment |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Temporary Commercial Coach | <input type="checkbox"/> Temporary Use Permit |
| <input type="checkbox"/> Tentative Parcel Map | <input type="checkbox"/> Tentative Subdivision Map | <input type="checkbox"/> Variance <input type="checkbox"/> Zone Change |

DESCRIPTION: Pedestrian Bridge off Rear Deck at 425 Main St, Powell's Seafood.

ITEMS ABOVE THIS LINE FOR OFFICE USE ONLY

City Ordinance #1577 established a Fee & Service Charge System. In some cases project review will require the services of specialists under contract to do work that City staff cannot perform. In these cases, the applicant shall pay the direct cost of these services plus fifteen percent (15%) for City Administration.

PROJECT APPLICANT

NAME LESTER So RUSSELL
MAILING ADDRESS 121 DIANA ST POCK
PHONE 530 622-2991
EMAIL

APPLICANT'S REPRESENTATIVE (if different)

NAME _____
MAILING ADDRESS _____
PHONE _____
EMAIL _____

PROPERTY OWNER(S)

NAME SAWR PHONE _____
MAILING ADDRESS 11
EMAIL ADDRESS 11

SURVEYOR, ENGINEER, ARCHITECT, OR OWNER'S REPRESENTATIVE (If applicable)

NAME OWNER will REPRESENT PHONE _____
MAILING ADDRESS _____
EMAIL ADDRESS _____
I have notified the mortgage holder, which is: N/A

DESCRIPTION OF PROPERTY (Attach legal deed description)

STREET ADDRESS 425 MAIN ST PLACERVILLE
ASSESSOR'S PARCEL NO.(S) _____
Above described property was acquired by owner on FEB ? 2005
Month Day Year

List or attach any Covenants, Conditions or Restrictions, concerning use of property, of improvements contemplated; as well as yard setback and area or height requirements that were placed on the property by subdivision tract developers. Give date said restrictions expire.
N/A

I hereby certify that the statements and information contained in this application, including the attached drawings and the required findings of fact, are in all respects true and correct. I understand that all property lines must be shown on the drawings and be visible upon site inspection. In the event that the lines and monuments are not shown or their location found to be incorrect, the owner assumes full responsibility.

I further understand that if this request is subsequently contested, the burden will be on me to establish: that I produced sufficient factual evidence at the hearing to support this request; that the evidence adequately justifies the granting of the request; that the findings of fact furnished by me are adequate, and further that all structures or improvements are properly located on the ground. Failure in this regard may result in the request being set aside, and structures being built in reliance thereon being required to be removed at my expense.

PROPERTY OWNER agrees to and shall hold the CITY, its officers, agents, employees and representatives harmless from liability for damage or claims for damage for personal injury, including death, and claims for property damage which may arise from the direct or indirect operations of the PROPERTY OWNER or those of his contractor, subcontractor, agent, employee or other person acting on his behalf which relate to this project. PROPERTY OWNER agrees to and shall defend the CITY and its officers, agents, employees and representatives from actions for damages caused or alleged to have been caused by reason of the PROPERTY OWNER'S activities in connection with the project. This hold harmless agreement applies to all damages and claims for damages suffered or alleged to have been suffered by reason of the operations referred to in this paragraph, regardless of whether or not the CITY prepared, supplies or approved plans or specifications or both for the project.

PROPERTY OWNER further agrees to indemnify, hold harmless, pay all costs and provide a defense for CITY in any action challenging the validity of PROPERTY OWNER'S project.

Lesters Russell
Applicant's Signature

LESTER S. RUSSELL
Printed Name of Applicant(s)

11-15-16
Date

As owner of the property involved in this request, I have read and understood the complete application and its consequences to me as a property owner.

Lesters Russell
Signature of Property Owner

LESTER S. RUSSELL
Printed Name of Property Owner

11-15-16
Date

Gail J Russell
Signature of Property Owner

GAIL J. Russell
Printed Name of Property Owner

11/16/16
Date

NOTICE: Section 10-3-9 of the Placerville Municipal Code prohibits the occupancy of a building or a release of utilities prior to the issuance of a Certificate of Occupancy by the Building Division AND the completion of all zoning requirements and conditions imposed by the Planning Commission or City Council UNLESS a satisfactory performance bond or other acceptable security has been posted to insure completion. VIOLATIONS may result in prosecution and/or disconnection of utilities.

A Notice of Public Hearing and Staff Report will be prepared for applications requiring public hearing(s). Two Wednesdays prior to the hearing date, the Notice of Public Hearing will be sent to the Applicant and Owner; on the Thursday prior to the hearing date, the Staff Report will be sent to the Applicant and Owner. Notices and Staff Reports will be sent via email if addresses have been provided; if not, the documents will be sent to the mailing addresses provided on this form. Please list below any alternate or additional recipients, along with their contact information, or any alternate instructions for sending these materials to the Applicant or Owner.

NONE

HYWAY 50
LANE 3
LANE 2
LANE 1

EAST

RECEIVED

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CITY OF PLACERVILLE
COMMUNITY DEV. DEPT

SHOULDER
CRANE LOCATION

BRIDGE

WORK AREA

40'

OWNER'S
BUILDING

#435

#425

#419

50

419

PLACERVILLE

MAIN ST



NOT TO SCALE

SITE PLAN
425 MAIN ST
PLACERVILLE CA



"We are dedicated to providing a professional and courteous service to our citizens and communities with Pride, Trust & Integrity."

October 6, 2016

Lester Russell
121 Diana Street
Placerville, CA 95667

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NOV 16 2016

CITY OF PLACERVILLE
COMMUNITY DEV. DEPT.

Re: Plan Review: Powell's Seafood – Pedestrian Bridge off Rear Deck
Address: 425 Main Street

El Dorado County Fire Prevention Division has completed a **final** review of the following documents:

1. Plans: One (1) copy of Sheets 1 and 2. The plans were drawn/stamped by Lori Burne and dated 09/22/2016.

These documents were reviewed only for their conformance to the 2013 California Fire and Building Code (CFC and CBC), El Dorado County Fire District Ordinance 2013-01 and National Fire Protection Standards. The plans are approved without further comment.

Enclosed, please find the above-noted documents bearing the El Dorado County Fire District's review stamps on the appropriate sheets. Please do not hesitate to contact us with any questions.

Sincerely,

EL DORADO COUNTY FIRE DISTRICT

Brandon McKay
Deputy Fire Marshal

Cc: file

November 16, 2016

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NOV 16 2016

CITY OF PLACERVILLE
COMMUNITY DEV. DEPT.

To: Placerville City Planning Commission

From: Lester and Gail Russell

Subject: Powell's Steamer and Pub Emergency Exit

Five years ago we replaced the deck behind Powell's because the existing deck was old and unsafe. At that time the City Building Inspector assured us that the footbridge which had been in place for at least 40 years was no longer necessary. Consequently we did not replace the bridge. The widening of Highway 50 removed parking and access to our building from across Hangtown Creek.

Recently the Fire Department notified us that the old bridge had served as a second emergency exit for Powell's and without it the allowed occupancy would be reduced.

We have retained an engineer and plans have been completed for a new bridge. We have a building permit and have also obtained a permit from Cal Trans to use a portion of the Highway as parking for a crane to move materials to our building.

We hope to complete this project as soon as possible so occupancy for Powell's can be restored.

Thank you,

Lester S. Russell *Lester S. Russell*

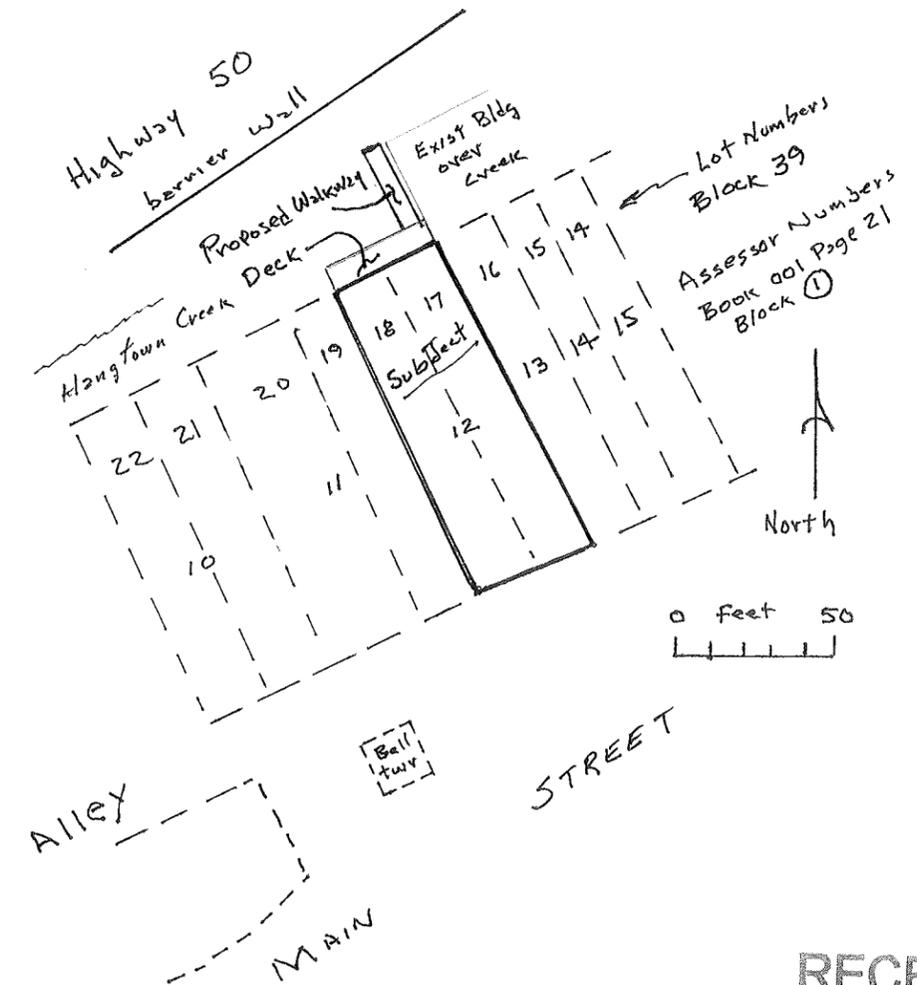
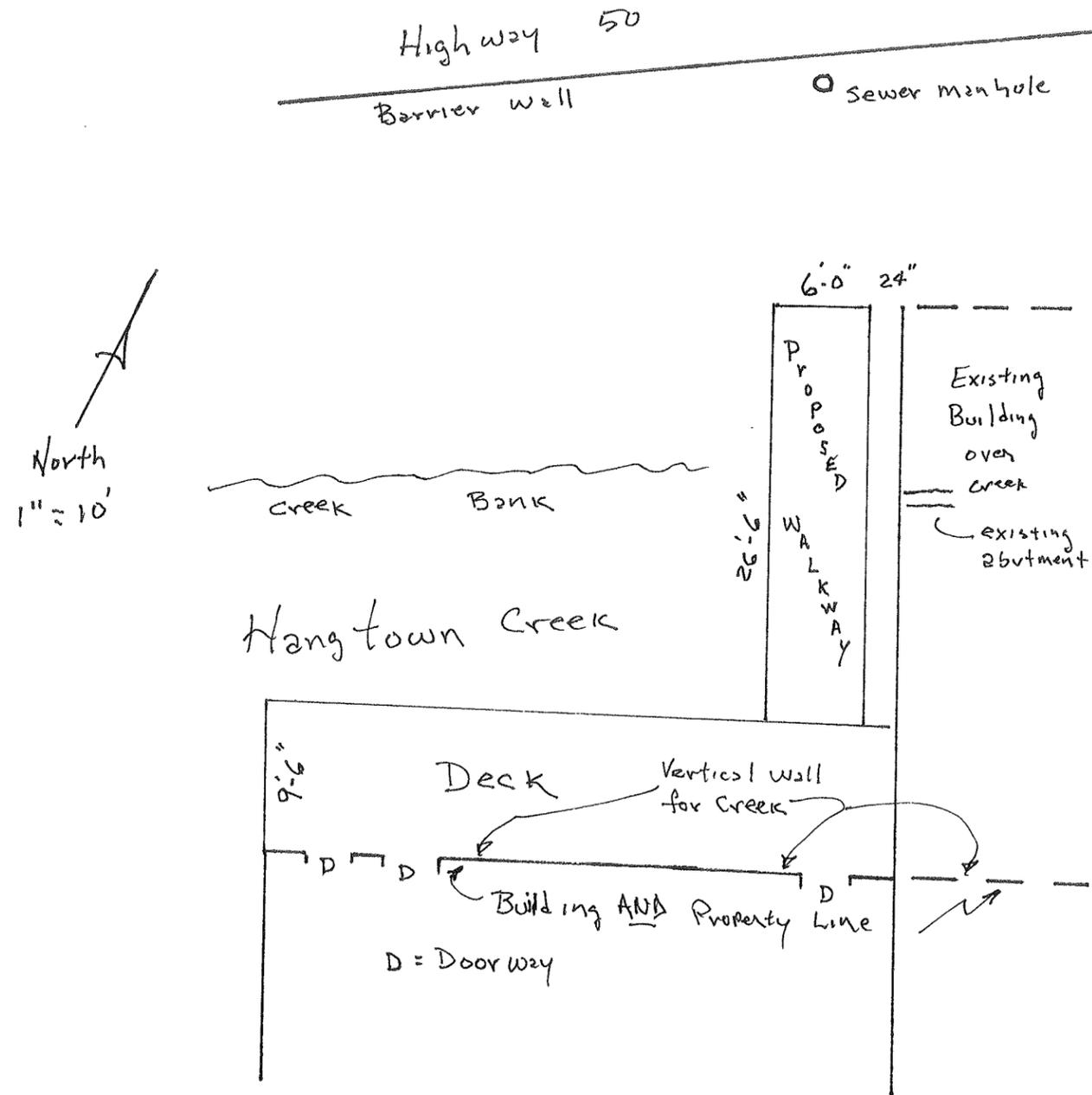
Gail J. Russell *Gail J. Russell*

SITE PLAN

RUSSELL BUILDING

POWELL'S STEAMER

425 MAIN STREET - PLACERVILLE



SPR 16-06 FILE COPY

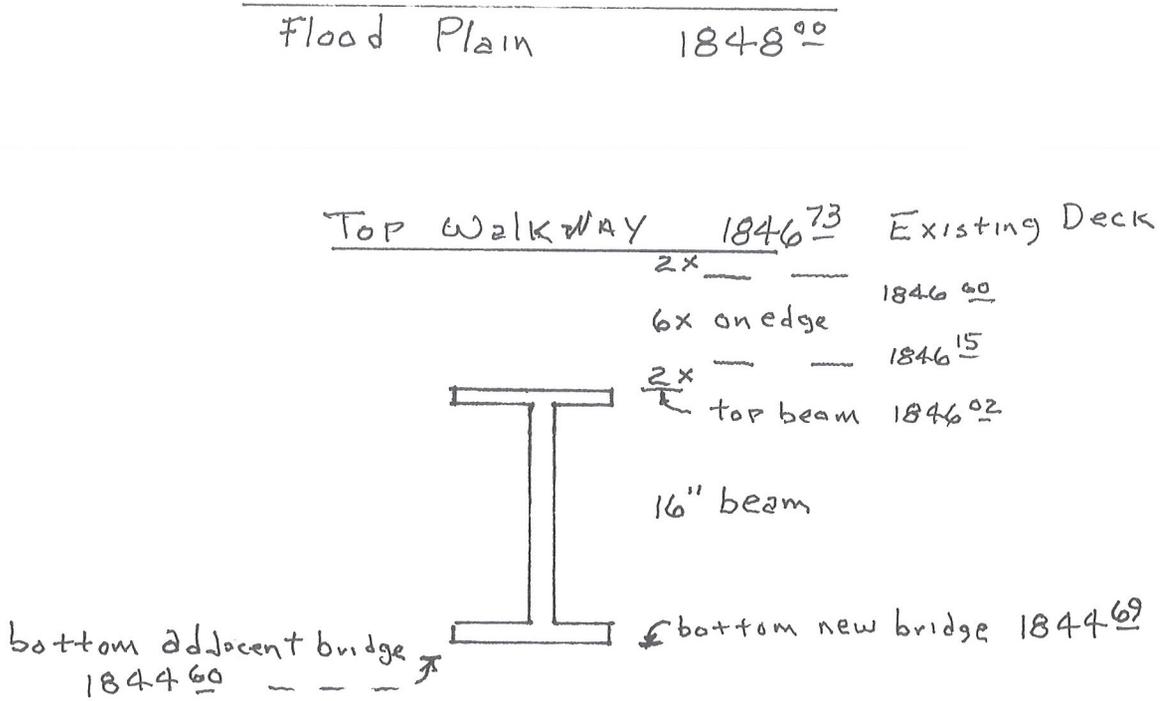
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MAY 19 2017

CITY OF PLACERVILLE
COMMUNITY DEV. DEPT.

ELEVATED WALKWAY
POWELL'S STEAMER CO.
425 Main Street Placerville, CA

Vertical Relationship



This drawing represents information gathered by me in February and March 2017. The datum for this information is based on the as built plan by Cal-Trans with an elevation on the top center of manhole # 24 of 1849.879.

James R. Sweeney LS 3824 March 14, 2017

James R. Sweeney



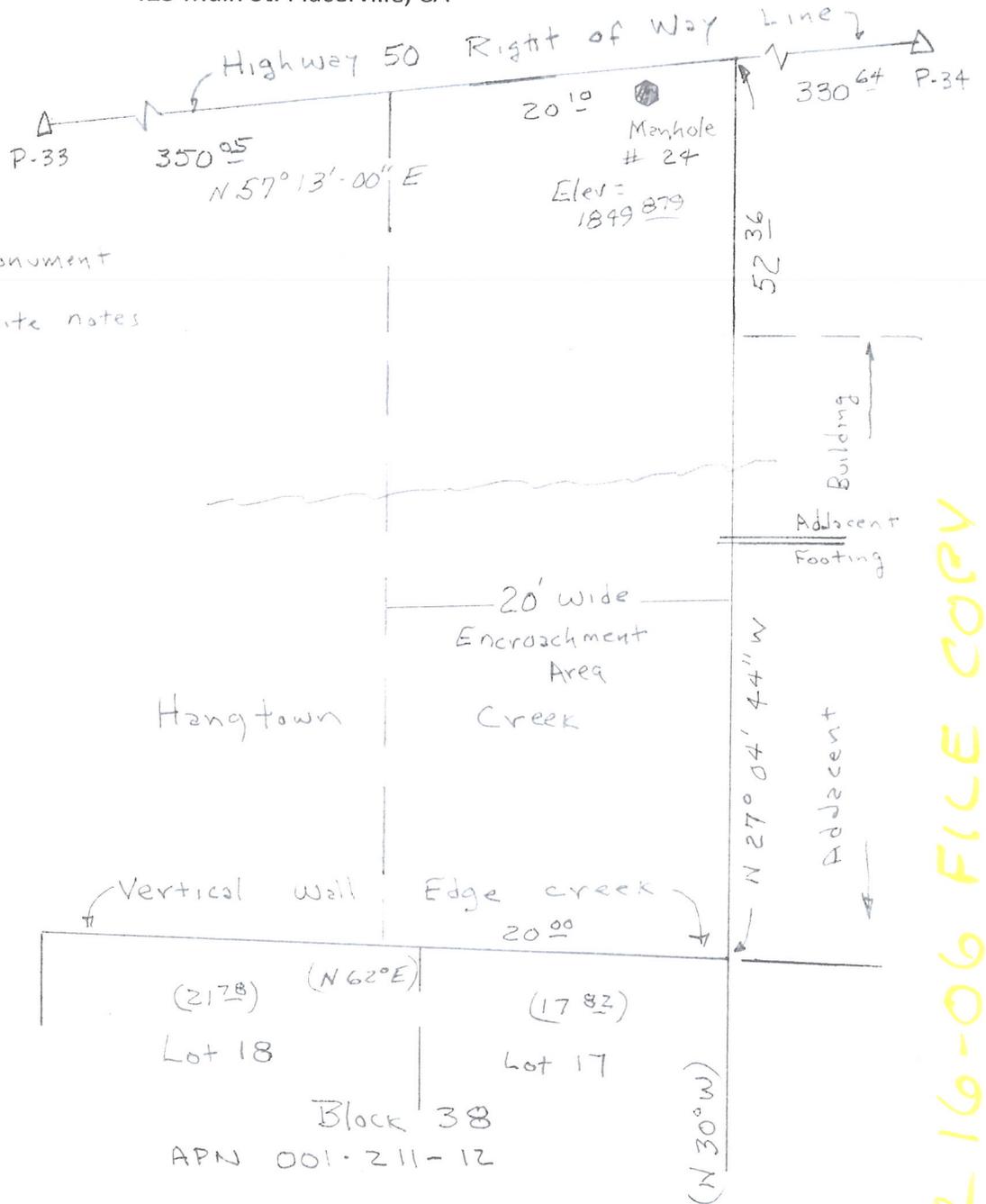
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MAY 19 2017

CITY OF PLACERVILLE
COMMUNITY DEV. DEPT.

SPR 16-06 FILE COPY

ENCROACHMENT PERMIT EXHIBIT
 ELEVATED WALKWAY
 POWELL'S STEAMER CO.
 425 Main St. Placerville, CA



Δ Cal-Trans R/W Monument
 () Record Per Townsite notes

North
 1" = 10'



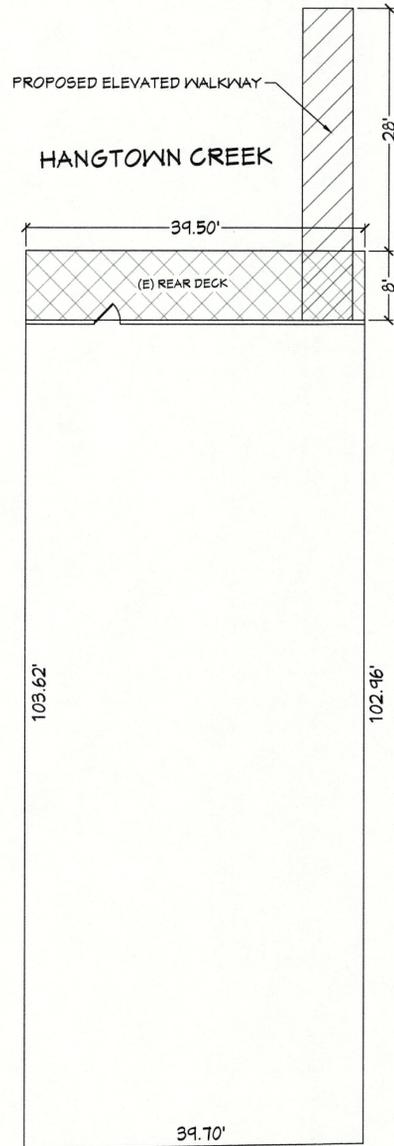
SPR 16-06 FILE COPY

This exhibit represents a survey made by me in February 2017. The meridian is identical with the Southerly Right-of-Way line of Highway 50 as per Cal-Trans control mapping.

James R. Sweeney, LS 3864, March 14, 2017
James R. Sweeney

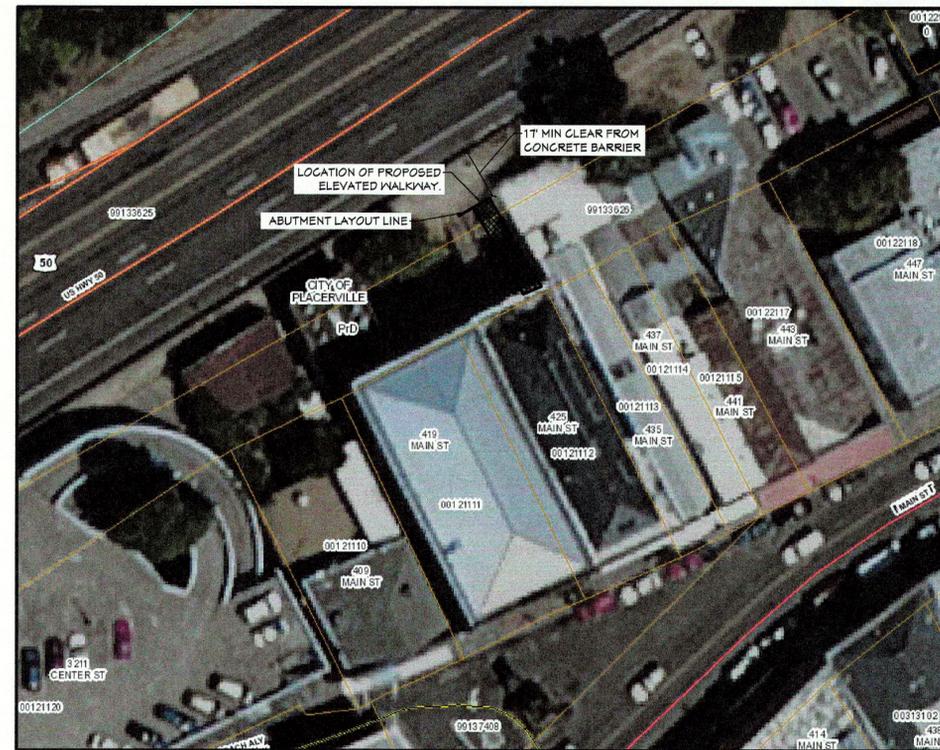
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 MAY 19 2017
 CITY OF PLACERVILLE
 COMMUNITY DEV. DEPT.

POWELL'S STEAMER CO. ELEVATED WALKWAY



MAIN STREET

PLOT PLAN
SCALE 1" = 10'-0"



GENERAL NOTES

1. ALL WORK DONE ON THIS PROJECT SHALL COMPLY WITH THE FOLLOWING CODES AND REGULATIONS:

- 2013 CALIFORNIA BUILDING CODE (CBC)
- 2013 CALIFORNIA EXISTING BUILDING CODE (CEBC)
- 2013 INTERNATIONAL EXISTING BUILDING CODE (IEBC)
- 2013 CALIFORNIA GREEN BUILDINGS STANDARDS CODE, EXCEPT PART 11, TITLE 24

IN ADDITION TO THESE MINIMUM REQUIREMENTS, ALL WORK ON THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE STATE AND LOCAL FIRE, SAFETY, AND ENERGY CODES.

2. THE CONTRACTOR SHALL FIELD VERIFY THAT ALL PLANS, DIMENSIONS, DETAILS, SPECIFICATIONS AND CONSTRUCTION FEATURES ARE CONSISTENT AND ARE COORDINATED WITH THE DESIGN OF THE PROJECT, AND THAT THE DESIGN IS COORDINATED WITH THE STRUCTURAL DESIGN.
3. IN THE CASE OF EXISTING WORK, THE CONTRACTOR SHALL FURTHER VERIFY THAT THE AS-BUILT CONDITIONS CONFORM TO THE REQUIREMENTS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY ALL ARCHITECTURAL AND STRUCTURAL DESIGNS ARE BUILDABLE. IF ANY DISCREPANCIES OR INCONSISTENCIES ARE FOUND, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/DESIGNER AND ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL NOT PROCEED WITH ANY WORK OR ORDER OR FABRICATE ANY MATERIAL UNTIL ALL INFORMATION IS VERIFIED AND ANY DISCREPANCIES OR INCONSISTENCIES ARE RESOLVED BY THE ARCHITECT/DESIGNER AND ENGINEER.
4. THE CONTRACTOR SHALL VERIFY CONDITIONS AND FRAMING MEMBERS WITHIN EXISTING CONSTRUCTION AS NECESSARY TO ACCOMMODATE ADDITION AND ALTERATION. THE CONTRACTOR SHALL BRING ALL UNFORESEEN CONCEALED CONDITIONS AND CONFLICTS TO THE ATTENTION OF THE OWNER AS SOON AS THEY BECOME APPARENT.
5. THE CONTRACTOR SHALL PROVIDE THE NECESSARY MANAGEMENT, LABOR, EQUIPMENT, MATERIALS AND TRANSPORTATION TO FULLY EXECUTE WORK AS INDICATED, REASONABLY INFERRED AND REQUIRED FOR A COMPLETE AND PROPERLY FINISHED JOB.
6. THE CONTRACTOR SHALL ACCURATELY CONSTRUCT THE WORK TO THE REQUIRED LINES, LEVELS AND ALIGNMENT; REPORT TO THE OWNER ANY APPARENT DISCREPANCIES FOR RESOLUTION AND DIRECTION BEFORE PROCEEDING WITH THE PORTION OF THE WORK AFFECTED.
7. CONTRACTOR TO NOTIFY ENGINEER OF RECORD IF CONDITIONS VARY FROM THAT SHOWN ON THE PLANS OR IF MATERIALS ARE TO BE SUBSTITUTED.

BUILDING DESIGN CRITERIA

SEISMIC DESIGN CATEGORY	C
BASIC WIND SPEED	110 MPH
EXPOSURE	B
ALLOWABLE SOIL BEARING PRESSURE	1500 PSF
FLOOR LIVE LOAD	100 PSF

INDEX OF DRAWINGS

- 1 PLOT PLAN
- 2 ELEVATED WALKWAY PLANS

SCOPE OF WORK

OBTAIN PERMIT FOR CONSTRUCTION OF PEDESTRIAN ELEVATED WALKWAY TO PROVIDE REQUIRED EXIT.

SQUARE FOOTAGE SUMMARY

TOTAL SQUARE FOOTAGE = 176 SF

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CITY OF PLACERVILLE
COMMUNITY DEV. DEPT.

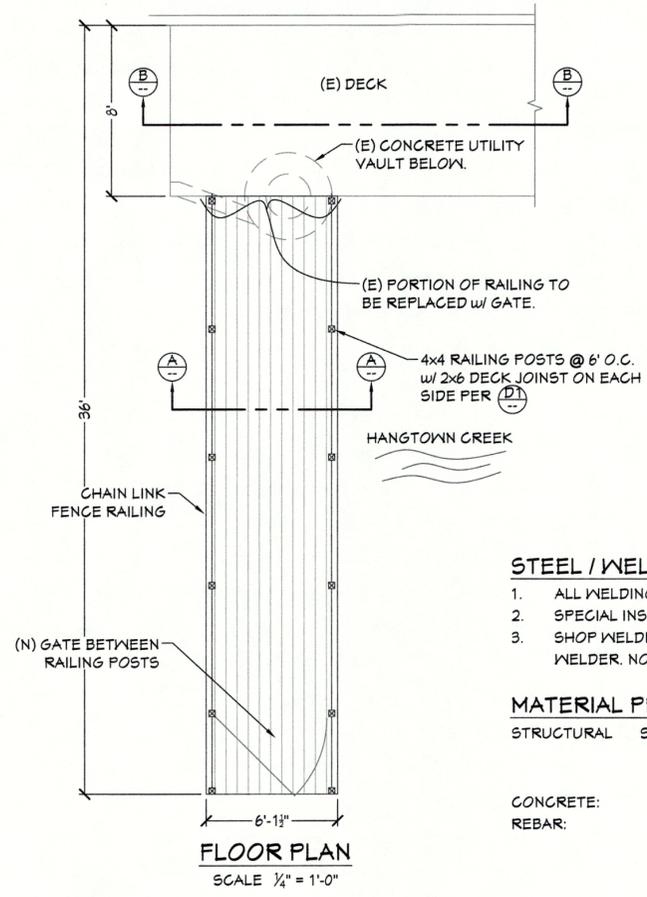


BURNE
ENGINEERING
(530) 672-1600

PLOT PLAN
POWELL'S STEAMER CO
425 MAIN STREET
PLACERVILLE, CA 95667



04.22.16



STEEL / WELDING NOTES:

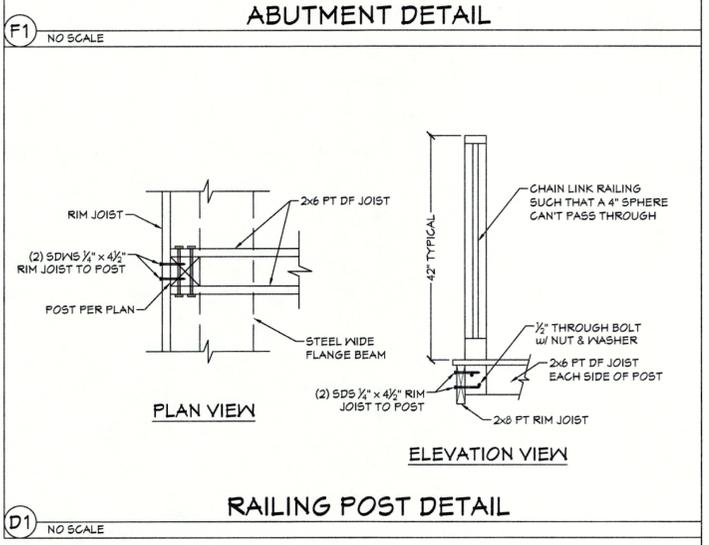
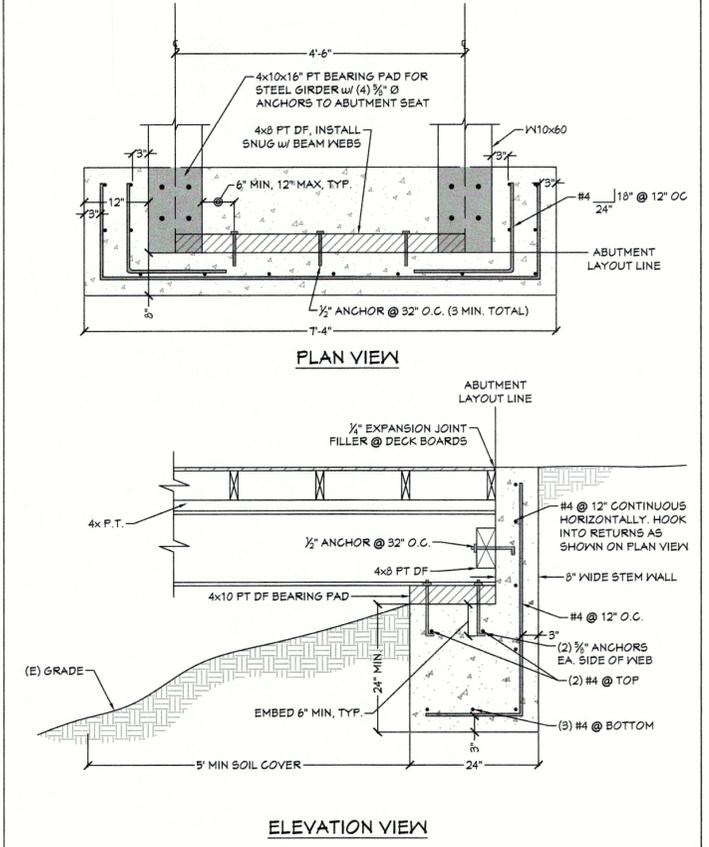
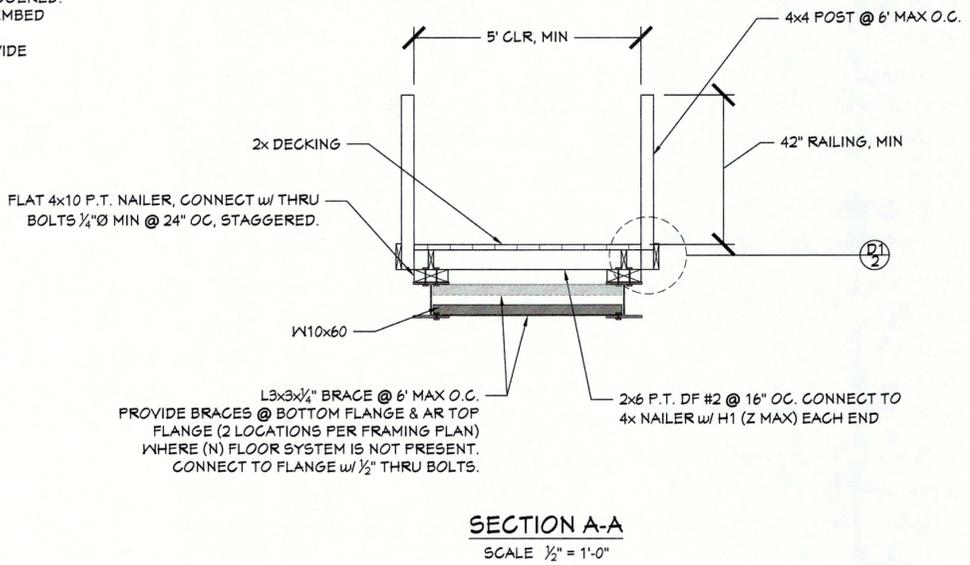
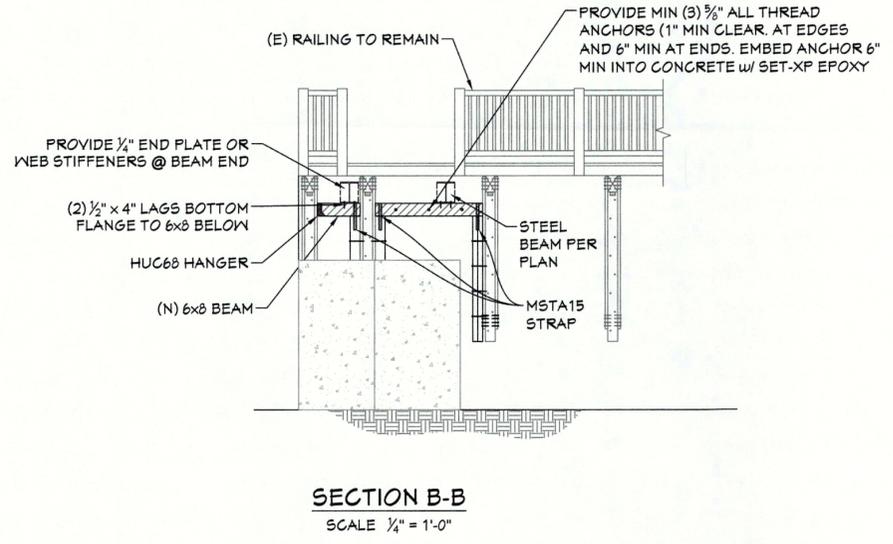
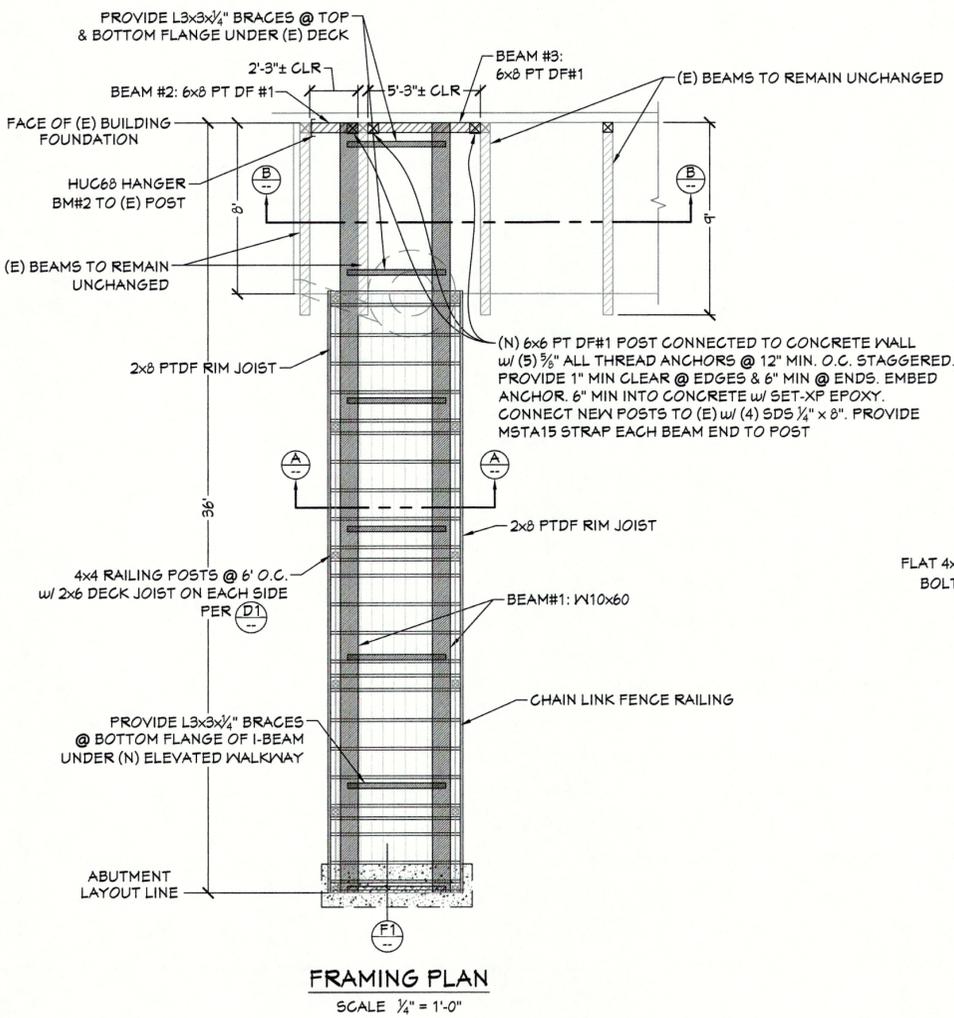
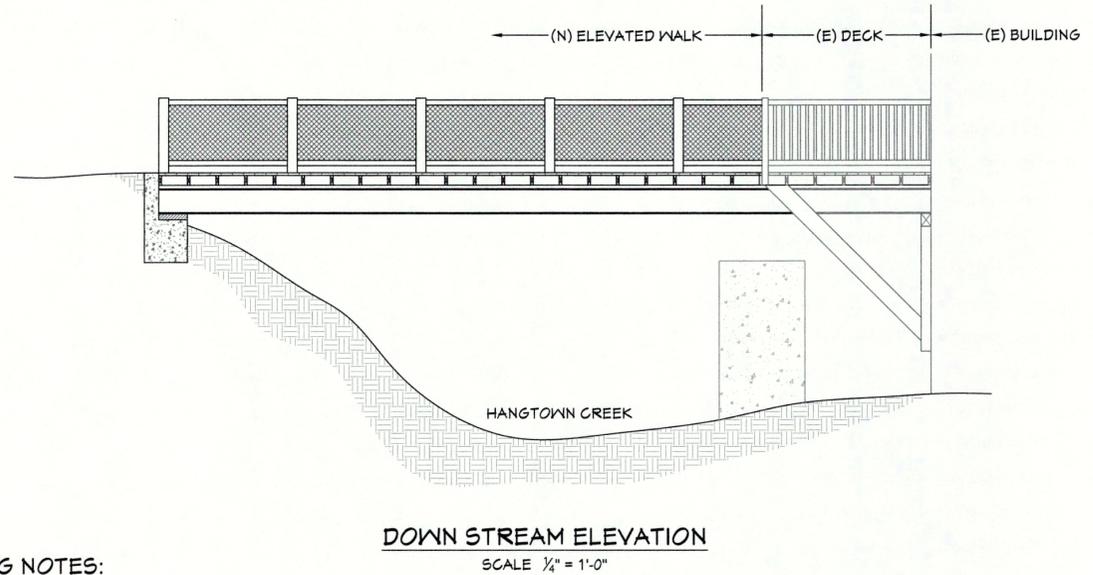
- ALL WELDING SHALL BE DONE IN COMPLIANCE TO ANS D 1.1
- SPECIAL INSPECTION REQUIRED FOR ALL FIELD WELDING
- SHOP WELDING SHALL BE PERFORMED BY AN ANS CERTIFIED WELDER. NO SPECIAL INSPECTION REQUIRED.

MATERIAL PROPERTIES:

STRUCTURAL STEEL: $f_y = 50$ ksi (WIDE FLANGE)
 $f_y = 36$ ksi (PLATE)
 $f_y = 36$ ksi (ANGLE)

CONCRETE: $f_c = 2500$ ksi

REBAR: $f_y = 40$ ksi



- NOTES:**
- STRUCTURAL OBSERVATION BY EOR REQUIRED @ DRILL & BOND OF POST ANCHORS TO WALL & FINAL FRAMING.
 - A COPY OF THE EOR OBSERVATION REPORTS SHALL BE SUBMITTED TO THE BUILDING DEPARTMENT PRIOR TO INSPECTION.
 - ALL LUMBER TO BE PRESSURE TREATED WITHOUT AMMONIA, OR BY MCQ/MCA. EOR TO APPROVE PRESSURE TREATED SPECIFICATION.
 - ALL FASTENERS & HARDWARE TO BE PRESSURE TREATED HOT DIPPED GALVANIZED, UON.
 - BLOCK BETWEEN JOISTS OVER GIRDERS, TYP.
 - DECKING TO MEET COMBUSTIBLE CONSTRUCTION REQUIREMENTS
 - ALL HARDWARE SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS, UON.

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CITY OF PLACERVILLE
COMMUNITY DEV. DEPT.