

*“Placerville, a Unique Historical Past Forging into a Golden Future”*



**City of Placerville Planning Commission  
 STAFF REPORT**

**SUBJECT:** The Hangtown Range Project (Project). Request for: 1) Site Plan Review (SPR) to change the occupancy of an existing automobile service building and site to an indoor shooting range, and 2) A Variance (VAR) to deviate from City Code Section 10-4-4(C-2) to allow parking within three feet of the Broadway right-of-way, precluding parking lot shading and meeting other landscaping criteria under Site Plan Review.

**PROJECT ADDRESS:** 1540 Broadway, Placerville, CA

**ASSESSOR’S PARCEL NUMBER:** 004-201-13

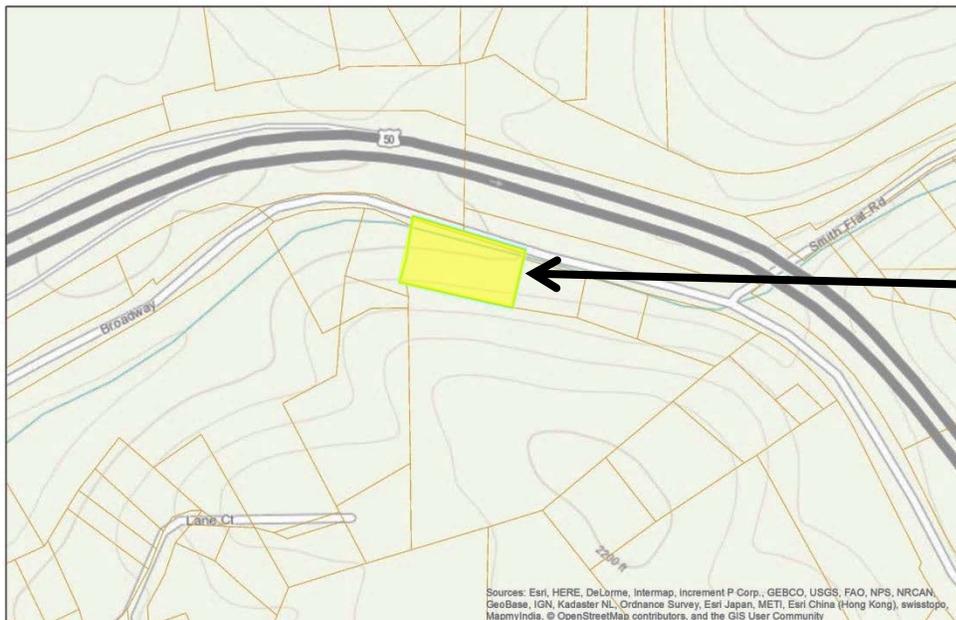
**FILE NO:** SPR 17-03, VAR 17-01

**PREPARED BY:** Andrew Painter, City Planner

**RECOMMENDATION:** Approve Site Plan Review (SPR) 17-03 and Variance (VAR) 17-01 subject to findings and conditions.

**SITE DATA**

<b>Address</b>	1540 Broadway
<b>Applicant</b>	Richard Rood
<b>Property Owner</b>	Richard and Darlene Rood
<b>Zoning</b>	Highway Commercial Zone – Airport Overlay (HWC-AO)
<b>General Plan</b>	Highway Commercial (HWC)
<b>Environmental Status</b>	Categorically Exempt (CEQA Guidelines Section 15301)



**Project Location**

Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community

**1.0 AUTHORITY FOR APPLICATION**

- City Code Section 10-3-1(C): The Planning Commission is charged to act upon all site plan and variance applications.
- City Code Section 10-3-5: Variances.
- City Code Section 10-4-9 (C)3: Site Plan Review, change of occupancy.

**2.0 PROJECT INFORMATION**

**2.1 Site Information/Setting**

The project site consists of approximately 0.8 acre of land area located along the south side of Broadway in eastern Placerville. The site and the Broadway access sit below in elevation from and south of U.S. Highway 50. Hangtown Creek bisects the southern 1/3 of the site. East of the site is a vacant and partially refurbished commercial building. Further east is a convenience market, single-family homes and a motel. West of the site are a motel, the Carriage Trade Shopping Center containing several retail uses, restaurants and auto service businesses. South are dispersed single-family homes within residential zones. North of U.S. Highway 50 are single-family homes within residential zones.

Site improvements consist of approximately 11,000 square feet of building floor area. The northern 1/3 of the site has asphalt paving up to the Broadway right-of-way. An existing pole sign cabinet and two-pole support structure is located near the northwest corner of the site.

An auto service (tires and breaks) use had occupied the site from 1964 until 2013. In 1964 the Planning Commission approved Conditional Use Permit 64-01 for a vehicle tire recapping and brake alignment business use (auto service). The City issued a building permit for construction of an approximately 5,100 square foot wood frame commercial building for the auto service use. In 1966, 1969 and 1971, permits were issued for additions to the auto service use and business. In 1975 a pole sign and two supports was installed with a permit. The sign cabinet for the pole sign was replaced in 1984, and then again in 1996.

**Figure 1. Street View of 1540 Broadway, Placerville**



Source: Google Maps

**Figure 2. Aerial View of Project Location**



Source: Google Maps

## 2.2 Project Description

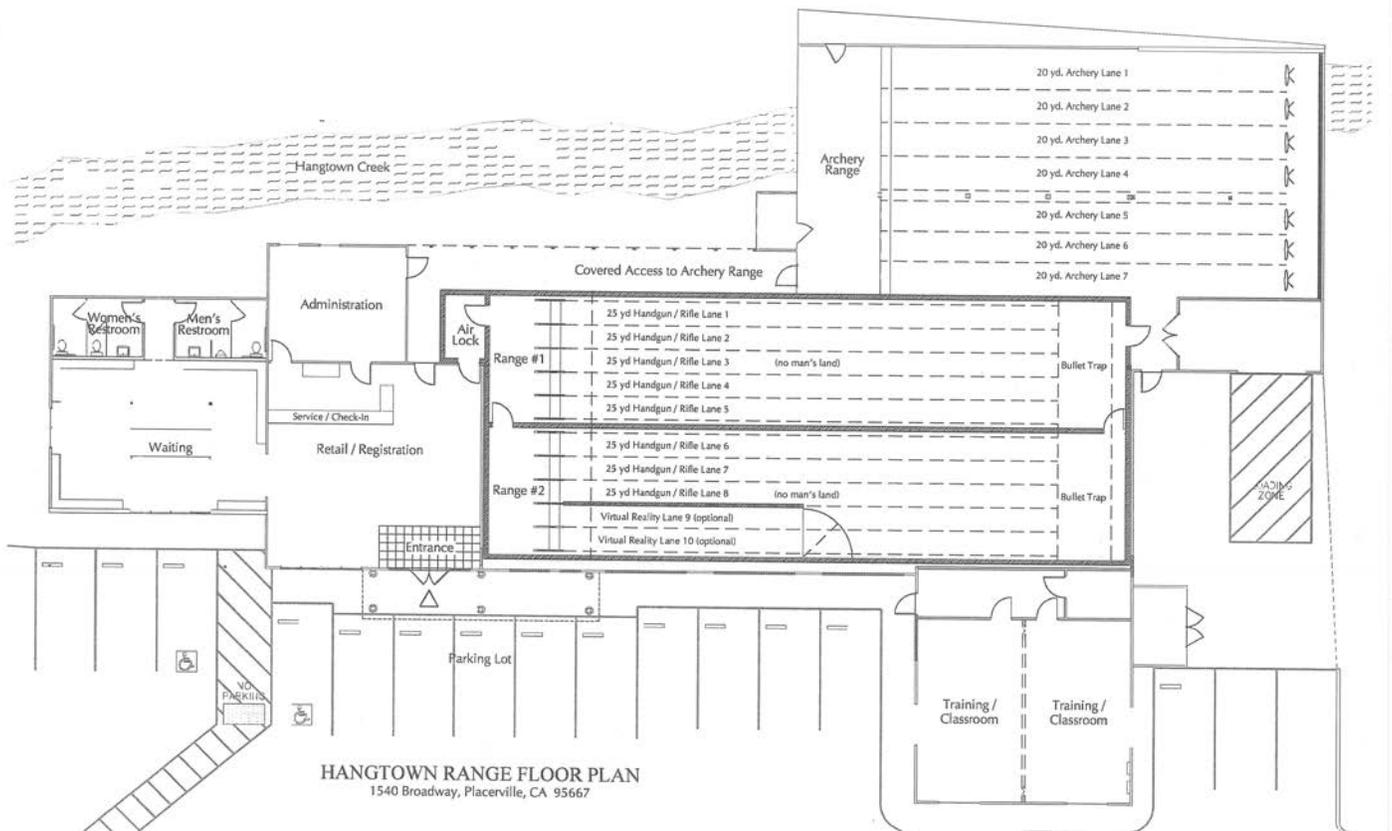
### Site Plan Review (SPR)

The SPR request would change the occupancy of an existing automobile service building and site to an indoor shooting range in the Highway Commercial – Airport Overlay zone.

The Hangtown Range center would consist of ten 25-yard shooting lanes that can accommodate handguns and rifles (firearms) for target shooting, with two of the lanes designed to also accommodate optional virtual reality shooting. The firearm lanes area would involve interior building modifications. These include the construction of new interior walls consisting of concrete masonry unit blocks filled with concrete; heavy gauge metal plate deflectors would be attached to a new ceiling deck to deflect off-target bullets to the floor; air and exhaust ventilation would be installed to control exposure to lead fumes and dust during firearm shooting; a bullet trap and catch container would be installed for spent bullets at the target end of the range. Bullets would be disposed of through a licensed recycler. These improvements would adequately contain projectiles and range noise to the interior of the facility.

The center also includes seven 20-yard lanes separated from the firearm lanes that would accommodate archers. A retail and registration area would be added, where ammunition, targets, ear protection, and range access would be sold. A waiting area, training/classroom area, lockers, and restrooms are provided. See Figure 3.

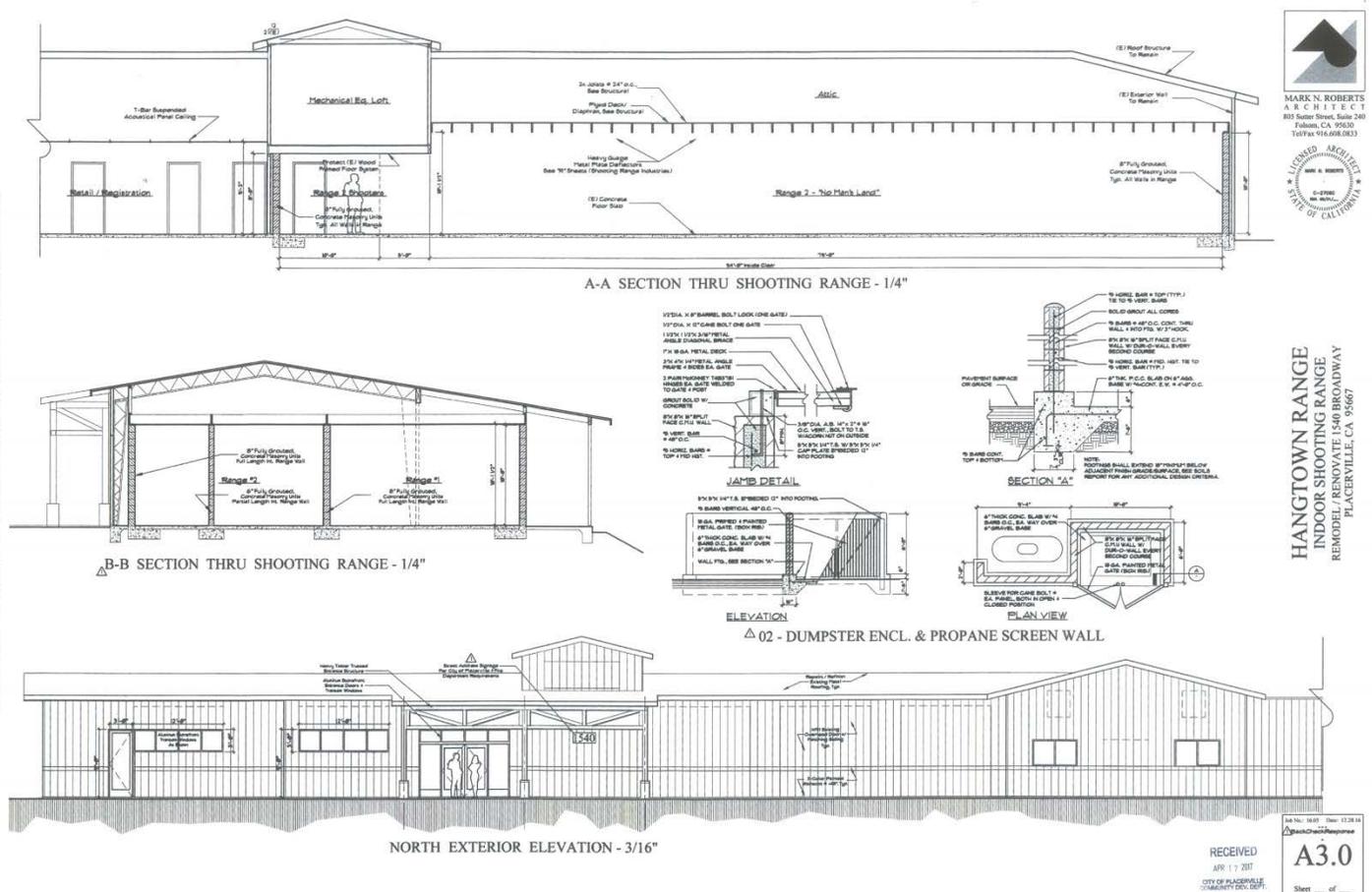
**Figure 3. Building Floor Plan**



Exterior changes (Figure 4) to the building include new aluminum storefront doors with transom windows, and a new covered entry structure using heavy timber with exposed trusses. The former auto service bay doors along the Broadway elevation would be infilled with metal siding to match the existing building exterior, or where indicated on the proposed building elevation, a combination of metal siding and new aluminum windows. New wall sconces would provide exterior lighting around the building exterior for user enjoyment and security.

Building exterior and its metal roof will be repainted using a 2-color scheme. Colors were not provided by the applicant; however the property owner informed staff that the colors would be similar to those used on the Mosquito Creek Outfitters building (Broadway Court and Mosquito Road).

Figure 4. Exterior Elevation and Building Cross Section



Signage for the request would total approximately 113 square feet based on applicant submitted information and City records regarding the existing pole sign cabinet. One new approximately forty square foot, non-illuminated, wall sign would be placed on the existing roof dormer. The existing pole sign and its internally illuminated cabinet would be refaced as part of the request

for a total of two signs. City permit records indicate that the existing pole sign cabinet is eighteen feet two inches wide by four feet in height, or approximately seventy-three square feet.

New site improvements include two new driveway encroachments (access) to Broadway, parking lot space striping of thirty-eight spaces, two loading zone areas, painted path of travel for disabled access to the Broadway right-of-way. In addition, new six inch concrete curb would extend along Broadway and would delineate three new landscape islands and new parking. Two of the three islands would contain 15-gallon London planetrees. A new split-faced block propane tank screen wall and trash enclosure with solid metal, box ribbed, gates would also be constructed.

The western driveway access would be limited to entrance only. Inadequate sight distance exists looking west from this access due to the curvature of Broadway and existing improvements on the neighboring motel property. The eastern driveway access would accommodate both inbound and outbound vehicle traffic for Hangtown Range.

Hangtown Range would be open daily. Specific hours of operation had not been disclosed to staff by the applicant as of the preparation of this report.

**Variance (VAR)**

The VAR 17-01 request would allow a deviation from City Code Section 10-4-4(C-2) to allow parking within three feet of the Broadway right of way that would preclude the ability to fully meet parking lot shading and meeting other landscaping criteria under Site Plan Review. The applicant’s stated intent is to provide adequate parking for the indoor shooting range and safety training center.

**3.0 PROJECT ANALYSIS**

**3.1 Consistency with City Code and the General Plan**

**City Code Regulations**

**Shooting Range Use**

Shooting and archery are commonly referred as recreation pursuits or sports. A shooting range and training facility as is proposed with the request, would be a facility for this sporting pursuit. Section 10-1-4: Definitions, defines a *Place of Entertainment* as, “Facility for theater, dance, sports or other amusements.” The site location is within the Highway Commercial (HWC) zone (Section 10-5-17). Entertainment establishments are a permitted use in the HWC being allowed by right. The proposed use is therefore consistent with City Code.

**Variance (VAR) from City Code Section 10-4-4(C-2)**

The request involves the creative adaptive reuse of an existing commercial service building and site. The intent to utilize the site to accomplish the request by providing adequate parking on the project site for users of Hangtown Range is constrained by the existing building’s placement and its proximity within the property to the Broadway right-of-way, that Hangtown Creek bisects the property, and that the southern portion of the site is at the base of a hill. These factors make it

difficult for the applicant to meet their objective and intent and comply with all of the City's regulations and design criteria under Site Plan Review (parking lot landscaping and shading) and to provide adequate parking for the indoor shooting range and safety training center.

The VAR request would deviate from the City Code's three feet minimum distance between a parking area and the City right-of-way to allow parking appears reasonable due to these constraints. Staff finds the Commission can make the necessary findings due to site constraints for a proposed onsite use.

### **Parking and Access**

Proposed parking dimensions and aisle widths meet City standards and regulations under Section 10-4-4: Parking and Loading. Vehicle circulation within the site, including the restriction of ingress (inbound) traffic only through the westerly driveway access (encroachment) to Broadway and the two-way access through the easterly driveway, would be acceptably accomplished.

Thirty-eight parking spaces would be provided under the request, exceeding the thirty-four minimum spaces required under City regulations. The requested shooting range use is a place of entertainment for sporting and recreation amusement. Per City Code Section 10-4-4(E) 13, indoor recreation uses require a minimum of two spaces for each lane unit. Hangtown Range would create seventeen shooting lanes therefore requiring thirty-four spaces under City regulations.

### **Street Frontage Improvements**

This City Code Section 8-9-3 requires the construction of curb, gutter, sidewalk and paving when construction of or the addition to any off-street parking facilities in the city of Placerville are to be completed, when the result of the off street parking effects an increase in the density of use of the property or effects an increase in traffic generation on the adjoining street. The request would change the occupancy of the former auto service building to an indoor shooting range. The developed lot would remain the same. There is no additional parking lot area to be developed and no increase in building square footage on the site. All facilities would be contained within the existing building. Staff was unable to conclusively determine whether the new use would increase traffic onto Broadway absent the preparation of a traffic study. The request would therefore not trigger the requirement of street frontage improvements in accordance with City Code Section 8-9-3.

The City's Upper Broadway Bike Lanes Project, a Capital Improvement Project (CIP #41508) is anticipated to be initiated for construction during fall of 2018 or spring of 2019. Construction of sidewalks is not yet programmed.

### **Signage**

The two signs proposed, one wall sign and the re-facing of an existing and permitted pole sign cabinet totaling 113 square feet comply with the quantity and aggregated sign area requirements and criteria under Section 10-4-17: Site Regulations. These regulations authorize not more than two signs. Also, based on the building's business frontage of 188 lineal feet, the maximum sign area for the building and occupancy would be 191 square feet. Proposed sign area would be seventy-eight square feet less than the regulation maximum.

### **Site Plan Review**

The request requires Site Plan Review (SPR) under Section 10-4-9 of City Code due to the proposed change the occupancy of an existing automobile service building and site to an indoor shooting range. SPR requests are subject to review by the Commission. The Commission may approve, approve with conditions or disapprove the application after considering whether the design criteria under Section 10-4-9(G) are met.

Proposed improvements to the exterior of the building and the site would enhance the site, be well related, and be consistent with the design criteria as follows:

- New storefront doors and windows, exposed wood truss covered entry, and the infill of the former auto service bay doors with metal siding to match the existing building exterior, would provide visual interest to the site and improve the overall character and condition of the building;
- New exterior wall lighting around the building are functional and meet required shielding and light intensity regulations of City Code;
- New trash enclosure and propane tank wall materials are decorative and would screen their intended interior contents;
- New wall sign and the refaced pole sign cabinet sign share common colors, font, graphics and arrangement making them harmonious to each other within the site;
- All new mechanical equipment for Hangtown Range is located to the rear of the building, or where roof-mounted, is screened from public view by the existing roof parapet.

To further enhance the site and to substantially offset the reduction in landscaping should VAR be approved, staff has added two conditions as follows that require the submittal of landscape and irrigation plans for staff approval. The applicant would be responsible to install, construct and maintain conditioned improvements as part of SPR 17-03 approval.

1. Submittal of a separate plan for landscape and irrigation that show:
  - a. The location, size and species of proposed *Plantanus x Acerifolia* (London plane tree) trees within the site.
  - b. Within the proposed planter island located next to the eastern driveway access show the location, species and quantity of low growing shrubs (selected from the Development Guide Plant List) to be planted.
  - c. A minimum of two native trees and multi-species of native shrubs (selected from the Development Guide Plant List), showing the location and provide the size for landscaping, shall be required for the area located south of the parking spaces shown on Sheet A1.0 that are labeled “17” through “23”, between the propane tank wall and the eastern property boundary, and north of Hangtown Creek.

- d. A maximum thirty-six inch in height “field” or “split-rail” style fence along the 6” concrete curb proposed along the property’s Broadway property line, strung between the eastern edge of parking space “24” to the western edge of space “31,” and between the eastern edge of parking space “32” to the western edge of space “36.” See Figure 5 example.

A field or split-rail fence no taller than thirty-six inches would tie aesthetically to and be compatible with the proposed heavy timber trussed entrance structure. Material continuity and compatibility criteria would be met.

**Figure 5. Fence Example**



### **Airport Overlay Zone**

The project is located within the Airport Influence Area of the Placerville Airport. The request was evaluated for consistency with the Safety Compatibility policies and intensity criteria of the Airport Land Use Compatibility Plan (ALUCP) of the Placerville Airport. Staff found that due to the intended use of the existing commercial building onsite by the applicant as an indoor shoot range, the proposed use would not exceed the maximum non-residential intensity criteria of 1,000 people per acre policy of the ALUCP. The project therefore would be consistent with the policies of the ALUCP and with Policy 1 of Goal J of the General Plan Health and Safety Section.

### **General Plan**

The General Plan’s contains goals and policies in Section 1: Land Use and Section VII: Community Design that are relative to the request.

*Section I. Goal C: To protect and provide for the expansion of Placerville’s commercial services sector to meet the needs of both Placerville area residents and visitors.*

*Policy 4. The City shall encourage the establishment of new commercial businesses in Placerville that provide services currently not being provided in the Placerville area, create jobs appropriate to the skills and labor force, and broaden the revenue base of the City of Placerville.*

The Hangtown Range would become a new commercial business in Placerville if the request is approved. Hangtown Range would provide an indoor entertainment opportunity that is not being

provided in the Placerville area. The request would therefore be consistent with the General Plan Land Use goal and policy.

*Section VII. Goal I: To promote architectural quality throughout Placerville.*

*Policy 1. The City shall ensure that new development will be a positive addition to the city's environment and not detract from the nature and character of appropriate nearby established development because of architectural style, scale, or location.*

The request as conditioned would meet the General Plan goal and policy. Approving the request would authorize the repurpose of the vacant auto service building and site by improving its outward character and appearance from the street.

### **3.2 Status of Conditional Use Permit 64-01**

Conditional Use Permit (CUP) 64-01 was granted by the Placerville Planning Commission in 1964 for a vehicle tire recapping and brake alignment use (auto service). Initiation and operation of the shoot range use (place of entertainment) as conditioned would result in the abandonment of CUP 64-01 making it null and void.

### **3.3 Environmental Analysis**

This project is exempt from the provisions of CEQA, as it falls within a Class 1 categorical exemption as listed in Title 14, Chapter 3, Article 19 of the California Code of Regulations.

A Class 11 (CEQA Guidelines, §15301) exemption applies to the request, in that this exception applies to existing buildings involving minor exterior and interior changes.

## **4.0 REVIEW AND COMMENT**

This project was circulated to the City's Police Department, Engineering and Building Divisions of Development Services and the El Dorado County Fire District. Comments from these entities have either been addressed through the processing of the Project or have been included as Conditions of Approval (Attachment 1).

Public notice was mailed to property owners within 500 feet of the project site and published in the Mountain Democrat. No public comment has been received.

## **5.0 CONCLUSION**

Staff recommends the Commission approve the request, taking the following action regarding SPR 16-06:

**I.** Find that SPR 17-03 is categorically exempt under §15301 of the California Environmental Quality Act Guidelines, in that §15301 exempts projects to existing buildings involving minor exterior and interior changes.

**II.** Make the following Findings of Fact for SPR 17-03:

1. Make the following General Plan consistency Findings:

- A. This request is consistent with the Highway Commercial General Plan Land Use Designation that is designed to provide for the highway-oriented uses that are convenient for the traveling public, in that a place of entertainment is a highway-oriented use that would cater to travelers along Highway 50.
- B. The indoor shoot range project provides for the development of a Highway Commercial facility that would be concentrated in well-defined and well-designated areas.
- C. This request is consistent with General Plan Section 1. Land Use, Goal C and Policy 4 of Goal C, in that the Hangtown Range request would become a new commercial business in Placerville that would provide an indoor entertainment opportunity that is not being provided in the Placerville area.
- D. This request is consistent with General Plan Section VII. Community Design, Goal I and Policy 1 of Goal I, in that approval would authorize the repurpose of the vacant auto service building and site by improving its outward character and appearance from the street.
- E. The request is consistent with the policies and intensity criteria of the Airport Land Use Compatibility Plan (ALUCP) of the Placerville Airport, and therefore consistent with Policy 1 of Goal J of the General Plan Health and Safety Section and the Airport Overlay (AO) Zone.

2. Make the following findings for Site Plan Review 17-03:

- A. The project design is consistent, as conditioned, with the objectives and criteria set forth in the Site Plan Review Ordinance, in that the building design and site improvements meet the intent of providing sound land use development and to promote the goals and policies of the General Plan.

3. Make the following findings for Variance 17-01:

- A. The project is designated on the General Plan Land Use Map as Highway Commercial.
- B. The Project is zoned HWC-AO (Highway Commercial - Airport Overlay).

C. Due to existing site constraints of the location of the existing structure within the site, its proximity to the Broadway right-of-way, and that Hangtown Creek bisects the site, there are unique physical characteristics specific to the project site, therefore, the granting of the variance requests does not constitute a special privilege not enjoyed by others in the vicinity or in the same zone as the project.

**III.** Conditionally approve the project request, 1540 Broadway – SPR 17-03 and VAR 17-01, subject to the conditions of approval provided as Attachment 1; initiation and operation of the SPR 17-03 and VAR 17-01 as conditioned will result in the abandonment of CUP 64-01 making it null and void.

#### **6.0 ATTACHMENTS:**

1. Draft SPR 17-03 Conditions of Approval
2. Applicant Submittal Package

## Attachment 1

### SPR 16-06 Conditions of Approval

1. Approval is based upon and limited to compliance with the project description, the Applicant Submittal Package set forth below, and the Conditions of Approval:

Applicant Submittal Package consisting of:

Planning Application...received 4.17.17

Environmental Information Form...received 4.17.17

Sheet A1.0...Site Plan dated 12.28.16, received 5.23.17

Sheet A1.1...Fire & Life Safety Plan dated 12.28.16, received 5.23.17

Sheet A2.0...Floor Plan dated 12.28.17, received 4.17.17

Sheet A3.0...Building Section & Exterior Elevation dated 12.28.17, received 4.17.17

Sheet E2...Lighting dated 10.31.16, received 4.17.17

Lighting Schedule and Photometric Study dated 11.21.16, received 4.17.17

Lighting Cut Sheet (three pages) received 4.17.17

Sign Elevations and Location (three pages) prepared by Western Sign Company dated 12.28.16, received 4.17.17

2. Any deviations from the project description, conditions, or exhibits shall be reviewed and approved by the City for conformity with this approval. Deviations may require approved changes to the permit. Deviations without the above described approval will constitute a violation of permit approval.
3. Building design and colors, parking lot and landscape improvements shall be completed in conformance with the plans submitted and in conformance with the conditions of approval herein. Minor variations are allowed, however, any major changes in the design of buildings, location of buildings, access ways, and parking shall require Planning Commission review and approval as authorized under City Code Section 10-4-9(P).
4. All signs proposed for the indoor shooting range (place of entertainment use) shall conform to Sign Elevations and Location exhibit prepared by Western Sign Company within the Applicant Submittal Package.
5. Signs shall consist of one non-illuminated, forty square feet sign wall, and the re-facing of an existing and permitted internally illuminated pole sign cabinet with dimensions of eighteen feet two inches wide by four feet in height, or approximately seventy-three square feet. Total aggregate sign area is approximately 113 square feet.
6. All building lighting shall be fully shielded so as to direct light. Lights shall be consistent with the Lighting Cutsheet within the Applicant Submittal Package.
7. The parking of vehicles shall only occur within those areas designated for parking as shown on the approved Site Plan (Sheet A1.0).

8. The project applicant/owner shall submit a separate plan for landscape and irrigation that show:
  - a. The location, size and species of proposed *Plantanus x Acerifolia* (London planetree) trees within the site.
  - b. Within the proposed planter island located next to the eastern driveway access show the location, species and quantity of low growing shrubs (selected from the Development Guide Plant List) to be planted.
  - c. A minimum of two native trees and multi-species of native shrubs (selected from the Development Guide Plant List), showing the location and provide the size for landscaping, shall be required for the area located south of the parking spaces shown on Sheet A1.0 that are labeled “17” through “23”, between the propane tank wall and the eastern property boundary, and north of Hangtown Creek.
  - d. A maximum thirty-six inch in height “field” or “split-rail” style fence along the 6” concrete curb proposed along the property’s Broadway property line, strung between the eastern edge of parking space “24” to the western edge of space “31,” and between the eastern edge of parking space “32” to the western edge of space “36.”
9. The property owner shall record a Landscaping Maintenance Agreement prior to the issuance of a Certificate of Occupancy for the site in accordance with City Code Section 10-4-9: Site Plan Review.
10. The request shall be consistent with the development standards by the City, all applicable City codes, state regulations and federal laws.
11. The applicant shall submit the improvement plans for review and approval by the Engineering Division prior to initiating any site improvements subject to payment of all required plan review and inspection fees in accordance with the adopted fee schedule.
12. The project shall be subject to all necessary permits including building permit issued by the Building Division and encroachment permit issued by the Engineering Division. Said building plans and improvements plans shall comply with all required building codes and City development standards and regulations.
13. Expiration: Per City Code Section 10-4-9(K)1, a Building Permit for the approved SPR request must be obtained from the City within eighteen months of SPR 17-03 approval, otherwise the permit becomes null and void. It is the responsibility of the applicant to monitor the time limit and make diligent progress toward implementation of the project and compliance with the Conditions of Approval.

**Attachment 2**

**Applicant Submittal Package**

RECEIVED

APR 17 2017

CITY OF PLACERVILLE  
COMMUNITY DEV. DEPT.

CITY OF PLACERVILLE  
PLANNING APPLICATION

Date: 4/17/17  
Zoning: HWC GP: HWC  
File No: SPR17-03 VAR-17-01  
Filing Fee (PZ) \$5176.00  
Filing Fee (EN) \_\_\_\_\_  
Receipt No: 18893

REQUEST FOR: HANGTOWN RANGE

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> Annexation                  | <input type="checkbox"/> Boundary Line Adjustment   | <input type="checkbox"/> Certificate of Compliance                                |
| <input type="checkbox"/> Conditional Use Permit      | <input type="checkbox"/> Environmental Assessment   | <input type="checkbox"/> Environmental Impact Report                              |
| <input type="checkbox"/> Final Subdivision Map       | <input type="checkbox"/> General Plan Amendment     | <input type="checkbox"/> General Plan Consistency                                 |
| <input type="checkbox"/> Historic District Review    | <input type="checkbox"/> Landscape Plan Review      | <input type="checkbox"/> Minor Deviation  |
| <input type="checkbox"/> Planned Development Overlay | <input type="checkbox"/> Preliminary Plan Review    | <input type="checkbox"/> Sign Package Review / Amendment                          |
| <input checked="" type="checkbox"/> Site Plan Review | <input type="checkbox"/> Temporary Commercial Coach | <input type="checkbox"/> Temporary Use Permit                                     |
| <input type="checkbox"/> Tentative Parcel Map        | <input type="checkbox"/> Tentative Subdivision Map  | <input checked="" type="checkbox"/> Variance <input type="checkbox"/> Zone Change |

DESCRIPTION: SITE PLAN REVIEW, CHANGING OCCUPANCY FROM AUTO SERVICE TO AN INDOOR FIREARM AND ARCHERY RANGE; VARIANCE TO LANDSCAPE REQUIREMENTS

ITEMS ABOVE THIS LINE FOR OFFICE USE ONLY OF SITE PLAN REVIEW

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City Ordinance #1577 established a Fee & Service Charge System. In some cases project review will require the services of specialists under contract to do work that City staff cannot perform. In these cases, the applicant shall pay the direct cost of these services plus fifteen percent (15%) for City Administration.

PROJECT APPLICANT

NAME RICHARD + DARLENE ROOP  
MAILING ADDRESS 2211 SWANSBORO RD  
PLACERVILLE CA 95667  
PHONE 530-621-1173  
EMAIL DDROOP@Hughes.NET

APPLICANT'S REPRESENTATIVE (if different)

NAME \_\_\_\_\_  
MAILING ADDRESS \_\_\_\_\_  
PHONE \_\_\_\_\_  
EMAIL \_\_\_\_\_

PROPERTY OWNER(S)

NAME RICHARD + DARLENE ROOP PHONE 530-621-1173  
MAILING ADDRESS 2211 SWANSBORO RD  
EMAIL ADDRESS PLACERVILLE CA. 95667

SURVEYOR, ENGINEER, ARCHITECT, OR OWNER'S REPRESENTATIVE (If applicable)

NAME \_\_\_\_\_ PHONE \_\_\_\_\_  
MAILING ADDRESS \_\_\_\_\_  
EMAIL ADDRESS \_\_\_\_\_

I have notified the mortgage holder, which is: \_\_\_\_\_

DESCRIPTION OF PROPERTY (Attach legal deed description)

STREET ADDRESS 1540 BROADWAY PLACERVILLE  
ASSESSOR'S PARCEL NO.(S) 004-201-13-100, 049-100-12-100, 049-100-13-100  
Above described property was acquired by owner on July 22, 2016  
Month Day Year

List or attach any Covenants, Conditions or Restrictions, concerning use of property, of improvements contemplated; as well as yard setback and area or height requirements that were placed on the property by subdivision tract developers. Give date said restrictions expire.



REGUARDING 1540 BROADWAY

REQUEST VARIANCE TO LANDSCAPE REQUIRMENTS

Some Background.

The site formally known as Sierra tire was built in the early 1950`s and over the years was expanded to what it is today, the subject property is limited by Broadway on the north and the creek and hillside to the south and east and west by the property lines so there is no way to expand the site footprint.

When I first got interested in this property it had been vacant for over two years and was in very poor rundown condition and was being taken over by some homeless people with no prospects to do anything but continue to deteriorate and be blight for upper Broadway and the City of Placerville.

We now come to the subject property and our request for a variance of the landscape requirements. The issue being of adequate parking for our proposed business of an indoor shooting range with a safety and training center, this has been very much needed and wanted by the men and woman that want to participate in the shooting sports in a safe environment and we have received nothing but very positive feedback from everyone that has learned of our plans to make this happen, and will be the start of cleaning up what is known as upper Broadway for a positive effect for the City.

It seems back in 1932 an easement was granted to the State of California to expand highway 50, over time this easement was transferred to the City of Placerville and was virtually lost, when I started to purchase this property I hired a surveyor to identify the property lines and it was he that discovered this lost easement even though two title companies had not discovered it, the effect of this easement completely eliminated any parking on the subject property which made it unusable for my purpose of a public shooting range or probably any other usage which meant it would probably have sat there until it was torn down or fell down.

During a period of 6 months we along with our real-estate agent, surveyor, property owner and the City were able to define and work out the changes to the property lines that allowed the City to keep what they needed for future expansion and what I needed for adequate parking, and the necessary changes were decided approved and recorded, this agreement was a deciding factor for me to move ahead with this project and would not have been possible without it. During this long process my architect had drawn up several parking plans to consider and we finally settled on the best compromise to get the most parking we could within the space we had to work with and this was agreed to by the City which allowed us to proceed, which we have.

The issue we have now is we can't meet what the City wants for landscaping and we were under the impression that the parking layout was good since the City had agreed to it, and we would not lose any spaces as it is probably marginal at best considering there is no public parking within a mile away, we have done our best to meet the intent of what the City wants but cannot afford to give up any parking, if customers can't find a place to park they won't come in and use what we have to offer which hurts both

the City and us, and in addition if we hold events that will bring a lot of users we will still have to make additional parking arrangements.

During this process I had offered to purchase the property next to this one for the purpose of additional parking but was unsuccessful and thus we are limited to what we have.

This business will be unique to Placerville and will bring a lot of users from surrounding areas and farther not only for a shooting experience but to patronize the restaurant's, motels and the many other services that Placerville has to offer.

In closing we are submitting a plan that shows our best effort to add some landscape within the boundaries we have without impacting our critical parking situation, and I must note that this building does back up to the hillside that provides a very pleasant forested background, we are also requesting a variance on the requirement on parking lot lighting to eliminate any pole lights for the same reason of impacting parking spaces and approve the lighting we will be adding to the front of the building.

Thank you for your consideration; we believe this to be a reasonable request to improve a bad situation.

Thank You.

Richard & Darlene Rood

2211 Swansboro Rd.

Placerville CA.

621-1173

Before filling out application please read

**"REQUIREMENTS FOR FILING APPLICATION FOR A VARIANCE"**

- (A) REQUEST: The applicant requests a VARIANCE on the property described on the application for the following purposes: (Use this space only to state exactly what is intended to be done on, or with, the property which does not conform to existing zoning regulations. \_\_\_\_\_)

NOTE: The law requires that the conditions set forth in the following four sections 1, 2, 3, and 4 must be established before a Variance CAN be granted. Answers to these sections must be complete and full.

State fully wherein your case conforms to the following requirements:

1. That because of special circumstances applicable to the subject property, including size, shape, topography, location or surroundings, the strict application of the provisions of the City's Municipal Code would deprive the subject property of privileges enjoyed by other properties in the vicinity and under identical zone classifications.

THIS PROPERTY WAS GIVEN AN EASEMENT IN 1932 TO EXPAND HWY 50. THIS WAS EVENTUALLY TRANSFERRED TO THE CITY OF PLACERVILLE, THIS EASEMENT INCORPORATED MOST OF THE PARKING AREA AND LEFT NO ROOM FOR PARKING THAT WOULD BE REQUIRED FOR ANY BUSINESS LET ALONG FOR OUR PLANNED INDOOR SHOOTING, ARCHERY AND TRAINING CENTER, ESPECIALLY SINCE THERE IS NO PUBLIC PARKING WITHIN A MILE AWAY AND WOULD LEAVE THIS PROPERTY UNUSABLE, ADDING THE REQUIRED PLANTING AREA AND POLE LIGHTS WILL NEGATIVELY IMPACT THE NEEDED PARKING AND WILL NOT BE CONSISTANT WITH THE AGREEMENT MADE WITH THE CITY

2. That any Variance granted shall be subject to such conditions as will assure that the adjustment thereby authorized shall not constitute a grant of special privileges inconsistent with the limitations upon other properties in the vicinity and zone in which the subject property is situated.

THIS VARIANCE WILL NOT BE DIFFERANT AS FAR AS LANDSCAPING THAT IS DIFFERANT FROM ANY OF THE OTHER PROPERTIES ALONG THE UPPER BROWWAY THAT ONLY COMPRISES 3 BUSINESS LOCATIONS ALL WITH NO ROADSIDE LANDSCAPE AND I MIGHT ADD THAT WITH THESE LOTS BEING SO NARROW THERE WILL BE NO ROOM FOR LANDSCAPE AND PARKING. I WOULD BELIEVE CUSTOMER PARKING WOULD BE MORE IMPORTANT TO THE CITY FOR A BUSINESS THAT IS IN A SHORT INCONSISTANT AREA ~~THAT~~ THAT REQUIRES LANDSCAPING OVER PARKING

CD-007-P

03/07

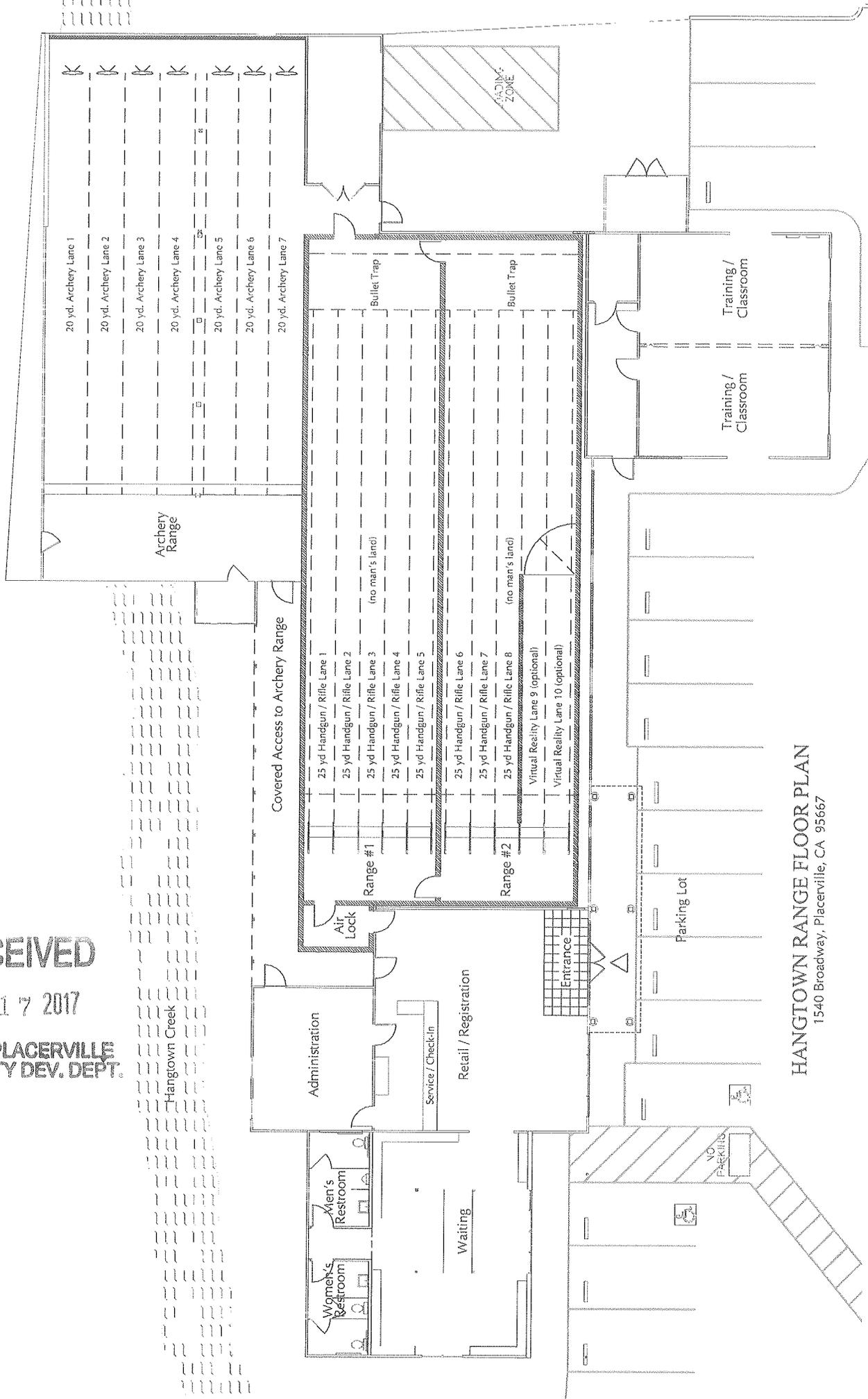
CITY OF PLACERVILLE

RECEIVED

APR 17 2017

CITY OF PLACERVILLE  
COMMUNITY DEV. DEPT.

**RECEIVED**  
 APR 17 2017  
 CITY OF PLACERVILLE  
 COMMUNITY DEV. DEPT.



**HANGTOWN RANGE FLOOR PLAN**  
 1540 Broadway, Placerville, CA 95667

Hangtown Creek

NO PARKING

RECEIVED

File Number: SPR17-03 VA217-01

Date Filed: APR 17 2017

CITY OF PLACERVILLE

CITY OF PLACERVILLE  
COMMUNITY DEV. DEPT.

ENVIRONMENTAL INFORMATION FORM  
(To Be Completed By Applicant)

This form is required to be completed, returned and accepted as complete by the City prior to the application for the project is determined complete.

A. GENERAL INFORMATION

Project Title or Name: HANGTOWN RANGE  
 City: PLACERVILLE  
 Name of Owner: RICHARD + DARLENE ROOP Telephone: 530-621-1173  
 Address: 2211 SWANSON RD PLACERVILLE CA 95667  
 Name of Architect, Engineer or Designer: MARK ROBERTS  
 Address: 805 SUTTER ST. #240 FOLSOM CA 95630 Telephone: 916-608-0833  
 Project Location: 1540 BROADWAY PLACERVILLE CA 95667  
 Assessor's Parcel Number(s): 004-201-13-100, 049-100-12-100, 049-100-13-100  
 General Plan Designation: \_\_\_\_\_  
 Zoning: HWG-A0  
 Property size  
 Gross (sq. ft./acre): \_\_\_\_\_  
 Net (sq. ft./acre) (total minus areas of public streets and proposed dedications) : \_\_\_\_\_

\*\*\*\*\*  
 Please answer all of the following questions as completely as possible.

B. PROJECT DESCRIPTION

1. Type of project and description: INDOOR SHOOTING AND ARCHERY LANES
2. What is the number of units/parcels proposed? USE EXISTING NO CHANGE
3. What is the gross number of units per acre? \_\_\_\_\_
4. Site Size: \_\_\_\_\_
5. Square footage of each use: \_\_\_\_\_
6. Number of floors of construction: EXISTING SINGLE STORY
7. Amount of off-street parking provided: 42
8. Attach plans showing streets, utilities, existing and proposed contours (grading), drainage, all existing large trees (24" in circumference), existing and proposed buildings surrounding uses and/or buildings, landscape areas, parking areas, driveways, pedestrian walkways, exterior lighting, trash collection area, sign locations.
9. Proposed scheduling: \_\_\_\_\_
10. If residential, include the number of units, schedule of unit sizes, range of sale prices or rents, and type of household size expected: NONE
11. If commercial, indicate the type, whether neighborhood, city or regionally oriented, square footage of sales area, and loading facilities: \_\_\_\_\_
12. If industrial, indicate type, estimated employment per shift, and loading facilities: NA
13. If institutional, indicate the major function, estimated employment per shift, estimated occupancy, loading facilities, and community benefits to be derived from the project: NA

14. If the project involves a variance, conditional use or rezoning application, state this and indicate clearly why the application is required: See ATTACHED
15. Provide an analysis of traffic generated by the project and how it will impact existing traffic.
16. If the project is in a location of known mining activity, a complete geological analysis shall be submitted.

Are the following items applicable to the project or its effects? Discuss below all items checked yes (attach additional sheets as necessary).

	YES	NO
17. Change in existing features of any hills or substantial alteration of ground contours.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
18. Change in scenic views or vistas from existing residential areas or public lands or roads.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
19. Change in pattern, scale or character of general area of project.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
20. Significant amounts of solid waste or litter.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
21. Change in dust, ash, smoke, fumes or odors in vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
22. Change lake, stream or ground water quality or quantity, or alteration of existing drainage patterns.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
23. Substantial change in existing noise or vibration levels in the vicinity.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
24. Site on filled land or on slope of 10 percent or more.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
25. Use of disposal of potentially hazardous materials, such as toxic substances, flammables or explosives.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
26. Substantial change in demand for municipal services (police, fire, water, sewage, etc.).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
27. Substantially increase fossil fuel consumption (oil, natural gas, etc.)	<input type="checkbox"/>	<input checked="" type="checkbox"/>
28. Is this project part of a larger project or series of projects.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

#### ENVIRONMENTAL SETTING

29. Describe the project site as it exists before the project, including information on topography, soil stability, plants and animals, and any cultural, historical or scenic aspects. Describe any existing structures on the site, and the use of the structures. Attach photographs of the site. Snapshots or Polaroid photos will be accepted. \_\_\_\_\_
30. Describe the surrounding properties, including information on plants and animals and any cultural, historical or scenic aspects. Indicate the type of land use (residential, commercial, etc.), intensity of land use (one-family, apartment houses, shops, department stores, etc.), and scale of development (height, frontage, setback, rear yard, etc.). Attach photographs of the vicinity. Snapshots or Polaroid photos will be accepted. \_\_\_\_\_

**GEOLOGY AND SOILS**

31. Identify the percentage of land in the following slope categories: (The applicant may wish to submit a map showing slopes.)

\_\_\_ 0 to 10% \_\_\_ 11 to 15% \_\_\_ 16 to 20% \_\_\_ 21 to 29% \_\_\_ 30 to 35% \_\_\_ Over 35

32. Have you observed any building or soil settlement, landslides, rock falls mining or avalanches on this property or in the nearby surrounding area? No

If yes, please explain: \_\_\_\_\_

33. Describe the amount of cut and fill necessary for the project: NONE

**DRAINAGE AND HYDROLOGY**

34. Is the project located within a flood plain? If so, describe and show area subject to flooding on a map.

Yes

35. What is the distance to the nearest body of water, stream or year round drainage channel? Name of the water body: 15' HANGTOWN CREEK

36. Will the project result in the direct or indirect discharge of silt or any other particles in noticeable amounts into any streams? No

37. Will the project result in the physical alteration of a natural body of water or drainage way? If so, in what way?

No

38. Does the project area contain any wet meadows, marshes or other perennially wet areas? No

If so, delineate this area on Site Plan.

**VEGETATION AND WILDLIFE**

39. What is the predominant vegetative cover on the site (trees, brush, grass, etc.)? Estimate percentage of each: \_\_\_\_\_

40. How many trees of 7.5-inch diameter or 20 feet high will be removed when this project is implemented? \_\_\_\_\_

**FIRE PROTECTION**

41. What is the nearest emergency source of water for fire protection purposes? (Hydrant, pond, etc.):

HYDRANT 150' FROM PROPERTY LINE

42. What is the distance to the nearest fire station? ONE MILE

43. Will the project create any dead-end roads greater than 300 feet in length? No

44. Will the project involve the burning of any material, including brush, trees and construction materials? No

**NOISE**

45. Is the project near a heavy commercial area, industrial area, freeway or major highway? If so, how far? 200 YARDS SOUTH OF HWY 50

46. What types of noise would be created by the establishment of this land use, both during and after construction? NONE

**AIR QUALITY**

47. Would any noticeable amounts of air pollution, such as smoke, dust or odors be produced by this project? NONE

**WATER QUALITY**

48. What is the proposed water source:  EID  City of Placerville  Well  Other

49. What is the water use? (residential, agricultural, industrial or commercial): BATH ROOMS

**HAZARDS**

50. Is the site listed on California Environmental Protection Agency's Hazardous Site List? No

If yes, what is the regulatory identification number: \_\_\_\_\_

Date of list: \_\_\_\_\_

**AESTHETICS**

51. Will the project obstruct scenic views from existing residential areas, public lands, public bodies of water or roads? No

**ARCHAEOLOGY/HISTORY**

52. Do you know of any archaeological or historical areas within the boundaries or adjacent to the project? (example: Indian burial grounds, gold mines, etc.): No

**SEWAGE**

53. What is the proposed method of sewage disposal? N/A

Septic System  City Sewer  Other: \_\_\_\_\_

54. Would the project require a change in sewage disposal methods from those currently used in the vicinity? No

**TRANSPORTATION**

55. Will the project create any traffic problems or change any existing roads, highways, or existing traffic patterns? No

56. Will the project reduce or restrict access to public lands, parks or any public facilities? No

57. Will the project change the L.O.S. on any existing roads? No

**GROWTH INDUCING IMPACTS**

58. Will the project result in the introduction of activities not currently found within the community? yes

59. Could the project serve to encourage development of presently undeveloped areas, or increases in development intensity of already developed areas (examples: include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)? Yes

60. Will the project require the extension of existing public utility lines? No If So, identify and give distances: \_\_\_\_\_

**GENERAL**

61. Will the project involve the application, use or disposal of potentially hazardous materials, including pesticides, herbicides, other toxic substances or radioactive material? Yes LEAD

62. Will the proposed project result in the removal of a natural resource for commercial purposes (including rock, sand, gravel, trees, minerals or top soil)? No

63. Could the project create new, or aggravate existing health problems (including, but not limited to flies, mosquitoes, rodents and other disease vectors)? No

64. Will the project displace any community residents? No

Discuss any yes answers to the previous questions, use additional sheets if necessary.

**MITIGATION MEASURES**

Proposed mitigation measures for any of the above questions where there will be an adverse impact, use additional sheets if necessary: \_\_\_\_\_

**CERTIFICATION**

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and that the facts, statements, and information presented are true and correct to the best of my knowledge and belief.

3-20-17  
Date

Richard Reed  
Signature

CD-021-P  
02/08

For \_\_\_\_\_

# 18 - The EXTERIOR OF THE EXISTING BUILDING WILL BE REPAIRED, IMPROVED AND PAINTED INCLUDING THE ROOF

# 25 - The SHOOTING RANGE WILL PRODUCE SPENT LEAD THAT IS CONTAINED FROM THE PUBLIC AND DISPOSED OF THROUGH A LICENSED RECYCLER, ALL VENTILATION IS FILTERED WITH HEPA 99.97% FILTERS

# 58 } THIS FACILITY WILL OFFER SHOOTING SPORT AND TRAINING  
# 59 } THAT IS CURRENTLY NOT AVAILABLE IN THE PLACERVILLE AREA AND IS IN MUCH DEMAND, MANY SHOOTERS NOW HAVE TO GO TO SACRAMENTO TO SHOOT

# 61 - SEE # 25



Job Name:  
HARTGOWN RANGE

Catalog Number:  
ES1-48H-MV-NW-W-STD FINISH-  
530-MSL2  
Notes:

Type:

W2

ALRSAC17-391

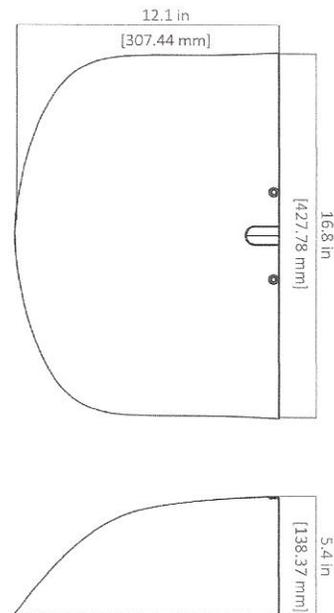
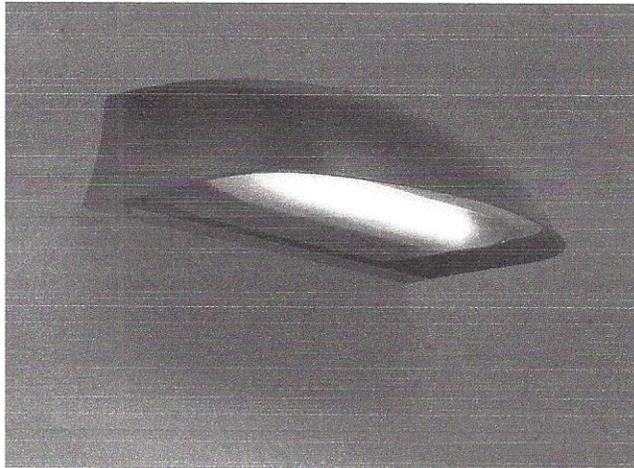


Project  
Type  
Catalog No.

## Eseta™ LED Wall Sconce ES

### Luminaire Data

Weight 9.9 lbs [4.5 kg]  
14.6 lbs [6.5kg] with EM, MS options



### Ordering Information

Sample Catalog No. ES1 24H MV NW W BK 700 EM

Product	No. & Type of LEDs	Voltage	Color Temperature <sup>1</sup>	Distribution	ADVISE FINISH		ADVISE MOTION SENSOR LENSE	
					Finish <sup>2</sup>	Drive Current <sup>3</sup>	Options	
ES1	24H	MV 120-277V	WW 3000K	W Wide	BK Black	350 350mA	PC	Photo Control
	48H	HV 347-480V	NW 4000K CW 5000K	FT Forward Throw	DB Dark Bronze	530 530mA 700 700mA	MSL2 <sup>4</sup> MSL3 <sup>4</sup>	Motion Sensor, L2 Lens Motion Sensor, L3 Lens Emergency Battery System
					GY Gray		EM <sup>5</sup>	Motion Sensor System
					WH White		FSIR100	Configuration Tool

Notes:

- Consult factory for other color temperatures.
- Consult factory for non-standard finish options.
- Factory set drive current, non-field adjustable. 700mA is not available for 48H version. Refer to performance data on page 2. Consult factory for other drive current options.
- Motion Sensor available with MV only. Motion Sensor default setting dims luminaire to 50% when no motion is detected for 5 minutes. Field adjustable settings available using FSIR100 option.
- Emergency Battery System available with MV only. 3-year limited warranty on Emergency Battery System.



# Eseta™ LED Wall Sconce

## ES

### Luminaire Specifications

#### Housing

Die cast aluminum housing with back mounting plate and outdoor rated cable. Back mounting plate includes novel hanging features to allow one-person installation. Knockouts on the top and bottom of the housing allow conduit entry. Electrical components are accessed behind gasketed optical cover.

#### Light Emitting Diodes

Hi-flux/Hi-power white LEDs are tested in accordance with IES LM-80 testing procedures. Warm White (3000K), Neutral White (4000K) and Cool White (5000K) with minimum 70 CRI are standard. LEDs are 100% mercury and lead free.

#### Optical Systems

The OMNILENS™ system creates a low brightness source to reduce glare with precise Wide or Forward Throw distributions. Lens cover is UV stabilized, vandal-resistant polycarbonate. Luminaire produces 0% total lumens above 90° (BUG Rating, U=0).

#### Electrical

Power supply features a minimum power factor of .90 and <20% Total Harmonic Distortion (THD). EMC meets or exceeds FCC CFR Part 15. Transient voltage complies with ANSI C62.41 Cat. A. Integral surge protector is tested per ANSI/IEEE C62.45 procedures based on ANSI/IEEE C62.41.2 definitions for standard and optional waveforms for Location Category C High.

#### Finish

Housing receives a fade and abrasion resistant epoxy polyester powder coat. Finish tested to withstand 5000 hours in salt spray exposure per ASTM B117. Finish tested 5000 hours in UV exposure per ASTM G154 and meets ASTM D523 gloss retention.

#### Listings/Ratings/Labels

Luminaires are UL listed for use in wet locations and emergency lighting in the United States and Canada. Ambient operating temperature is -40°C to 40°C with no accessories installed. Entire fixture maintains an IP66 rating. DesignLights Consortium™ 3000K, 4000K and 5000K qualified product. Assembled in the United States.

#### Photometry

Luminaires are photometrically tested by certified independent testing laboratories in accordance with IES LM-79 testing procedures.

#### Lumen Maintenance

Models	TM-21 Lumen Maintenance (hours) at 25°C	
	At 50,000	At 100,000
ES1-24H	99%	97%
ES1-48H	97%	93%

#### Warranty

10-year limited warranty is standard on luminaire and components. 5-year limited warranty on motion sensor and photo control. 3-year limited warranty on Emergency Battery System.

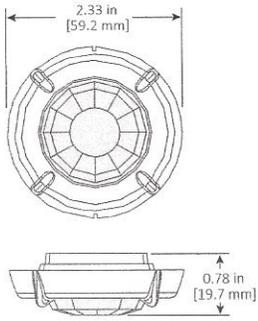
### Performance Data

All data nominal, consult factory for IES files or LM-79 reports.

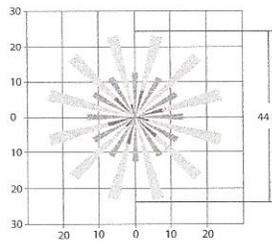
CCFT	Two Distributions		Wide Distribution			Forward Throw Distribution		
	No. of LEDs & Type	Drive Current (mA)	System Wattage (W)	Delivered Lumens (Lm)	Efficacy (Lm/W)	System Wattage (W)	Delivered Lumens (Lm)	Efficacy (Lm/W)
3000K	24H	350	30	3205	108	28	3146	112
		530	45	4690	103	43	4604	108
		700	56	5641	101	53	5537	104
4000K	24H	350	29	3301	115	30	3471	117
		530	44	4541	104	43	4548	105
		700	59	5771	99	59	5738	98
5000K	24H	350	29	3730	130	30	3922	132
		530	44	5131	118	43	5139	119
		700	58	6521	112	56	6260	112
	48H	530	82	9839	120	84	9585	115

# Eseta™ LED Wall Sconce ES

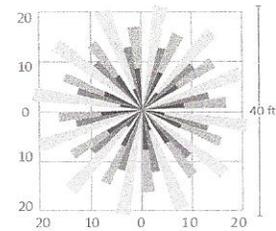
## Motion Sensor (Optional) Data



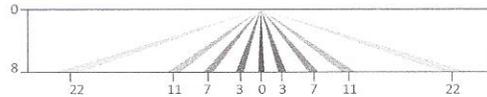
L2 Lens Coverage Top View



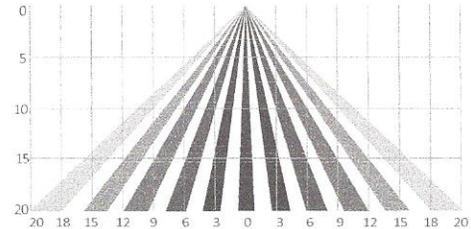
L3 Lens Coverage Top View



L2 Lens Coverage Side View



L3 Lens Coverage Side View



## Motion Sensor (Optional) Specifications

### Description

Digital passive infrared luminaire integrated outdoor occupancy sensor provides high/low/off control based on motion. Initial setup and subsequent sensor adjustments are made using a handheld configuration tool.

### Operation

Standard factory setting will dim the luminaire to 50% until motion is sensed and then it will power to 100%. When motion is not detected for five minutes, the luminaire will dim back to 50%. Ramp up and fade down times are adjustable, but initially set to NONE.

The percent dimming and time durations may be field adjusted as required using FSIR100 option. FSIR user guide available at: [www.wattstopper.com](http://www.wattstopper.com).

### Optical System

Multi-cell, multi-tier Fresnel lens with a 360 degree view detects unobstructed motion. L2 lens is designed for a mounting height up to 8 feet and detects motion up to 3 times mounting height. L3 lens is designed for a mounting height up to 20 feet and detects motion within one mounting height.

### Finish

Sensor exterior ring and lens are white polycarbonate, UV and impact resistant.

### Listings/Ratings

Sensor is TUV, UL and cUL listed, IP66 rated and CE compliant.

### Warranty

5-year limited warranty on luminaires and components with a motion sensor.

## Emergency Battery System (Optional) Specifications

### Description

Emergency battery system option provides a nominal 1900 lumens for a minimum of 90 minutes and can be specified with motion sensor option. Test switch and charging indicator light are visible and accessible on the optical cover.

### Listings/Ratings/Labels

Emergency LED driver and batteries are UL recognized and CSA certified. Emergency illumination time exceeds the National Electrical Code (NEC), Life Safety Code (NFPA-LSC), National Building Code of Canada (NBC), National Fire Code of Canada (NFC) and UL 90-minute requirements.

### Warranty

3-year limited warranty on Emergency Battery System.

### Temperature Rating

Ambient operating temperature is -20C to +60C.

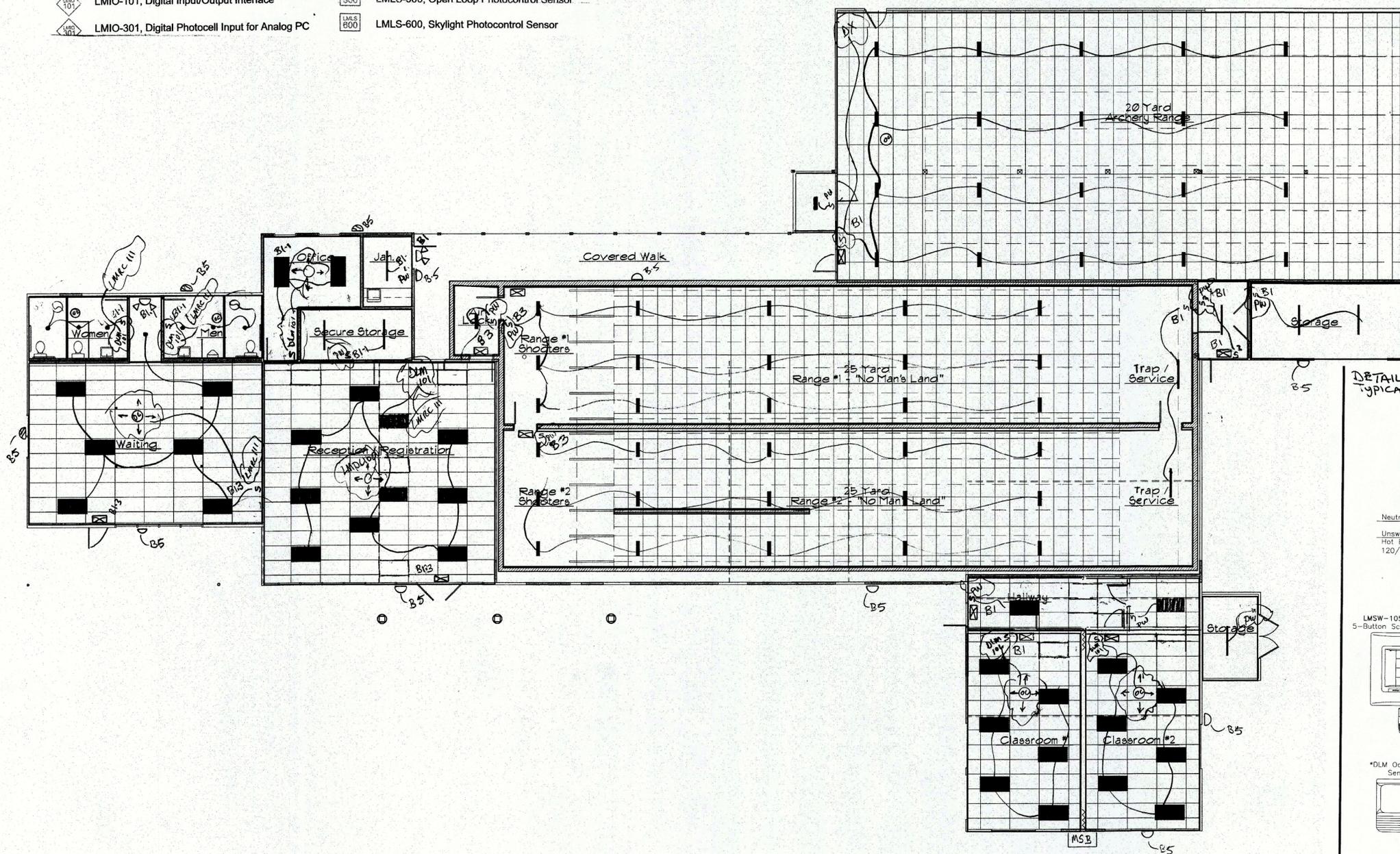
**SYMBOLS LIST**

- LMGM, DLM Segment Manager
- LMCP, DLM Lighting Control Panel
- LMZC-301, Digital Zone Controller
- LMRC-101, 1-Relay Switch Room Controller
- LMRC-102, 2-Relay Switch Room Controller
- LMRC-111, 1-Relay/0-10V Room Controller
- LMRC-112, 2-Relay/0-10V Room Controller
- LMRC-211, 1-Relay/0-10V Room Controller
- LMRC-212, 2-Relay/0-10V Room Controller
- LMRC-213, 3-Relay/0-10V Room Controller
- ELCU, Emergency Lighting Control Unit
- LMBC-300, Digital Network Bridge
- LMPL-101, Digital Plug Load Room Controller
- LMPL-201, Digital Plug Load Room Controller
- LMIO-101, Digital Input/Output Interface
- LMIO-301, Digital Photocell Input for Analog PC

- LMPO-200, Analog Exterior Photocell
- LMPS-6000, Analog Interior Photocell
- LMSW-101, 1-Button Digital Wall Control
- LMSW-102, 2-Button Digital Wall Control
- LMSW-103, 3-Button Digital Wall Control
- LMSW-104, 4-Button Digital Wall Control
- LMSW-105, 5-Button Scene Wall Control
- LMSW-108, 8-Button Scene Wall Control
- LMDW-102, Dual Tech Wall Occ. Sensor
- LMDM-101, 1-Button Digital Dimmer Control
- LMDC-100, Dual Tech Digital Ceiling Sensor
- LMDX-100, Dual Tech Digital Corner Sensor
- LMPX-100, PIR Digital Corner Sensor
- LMPC-100-1, PIR Digital Ceiling Sensor
- LMPC-100-5, PIR Sensor Extended Heights
- LMUC-100, Ultrasonic Digital Ceiling Sensor
- LMLS-400, Closed Loop Photocontrol Sensor
- LMLS-500, Open Loop Photocontrol Sensor
- LMLS-600, Skylight Photocontrol Sensor

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	A	37	Lithonia Lighting	2BLT4 48L ADSM LP835	BLT 2x4, 4800 NOMINAL LUMENS, Curved Smooth lens 3500K CCT	LED	1	5008.867	0.95	44.99
	B	7	Lithonia Lighting	LDN6 35/10 LOGAR LS	6IN LDN, 3500K, 1000LM, 80CRI, CLEAR, SPECULAR REFLECTOR	LED	1	1081.978	0.95	12.75
	C	7	Lithonia Lighting	ZLIN L48 3000LM XX 40K L/LENS XX XX	4' STRIPLIGHT WITHOUT LENS 3000LM 80CRI 4000K	LED	1	3206.989	0.95	32.5
	D	61	Lithonia Lighting	DMW2 4000LM MD ACL MVOLT 50K 90CRI	DMW2 L24 4000LM MD ACL MVOLT GZ1 50K 90CRI (GLEDS)	LED	1	4311.036	0.9	39.9

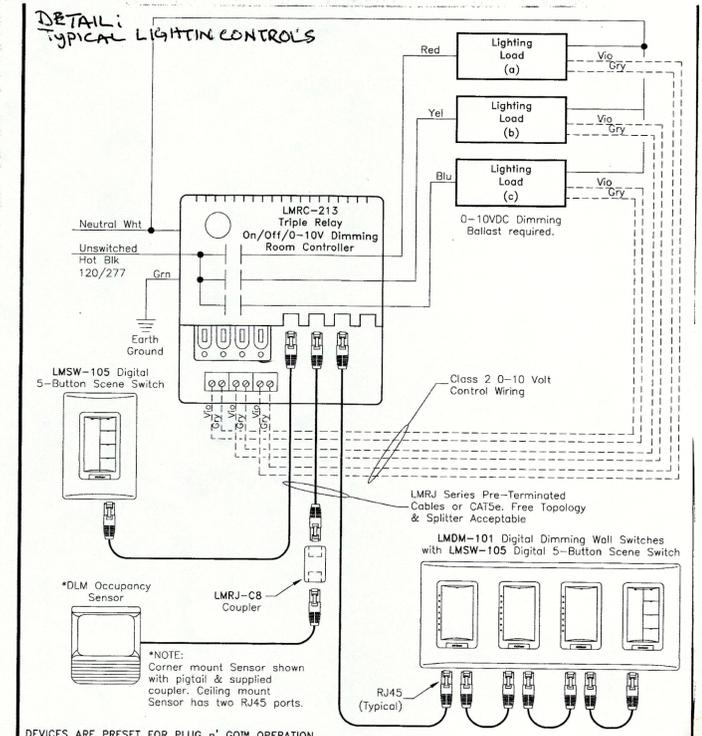
**MARK N. ROBERTS**  
**ARCHITECT**  
 805 Sutter Street, Suite 240  
 Folsom, CA 95630  
 Tel/Fax 916.608.0833



- EXIT/EMERGENCY LIGHT
- EMERGENCY LIGHT
- OCCUPANCY SENSOR
- EXTERIOR WALL LIGHT DSXW LED MOUNT UNDER EAVE CLOSE TO GUTTER, ON/OFF BY PHOTO CELL
- WATTSTOPPER DUAL LEVEL SWITCHING
- PW-101-W OCCUPANCY SENSOR
- EXTERIOR WALL LIGHT BATTERY BACK UP

NOTE: EXTERIOR LUG TO DIM TO 40% WHEN UNOCCUPIED

\* PLANS ARE TO CONFORM TO THE 2013 CALIFORNIA ELECTRICAL CODE (2011 NEC)



DEVICES ARE PRESET FOR PLUG n' GO™ OPERATION. ADJUSTMENT IS OPTIONAL. Sequence of Operation: In this configuration the LMRC-213 defaults to multi-level automatic-on/automatic-off operation. Load (a) on the LMRC-213 turns on automatically, while Load (b) & (c) defaults to manual-on control; all relays turn off automatically. Enhanced room controllers support up to 64 loads and 48 devices per DLM local network. At system startup, default dimming parameters are established including: levels for presets 1-4; fade times, and fade and ramp rates. Dimming and system parameters may be customized. For full operational details, adjustments and more features of the product, see the DLM System Installation Guide at www.wattstopper.com

<b>WattStopper</b> 800-879-8585			
Title: LMRC-213 Triple Relay 0-10V Dimming Wiring Diagram			
Scale: None	Drawing: 90-231	Date: 08/31/11	Rev: 4

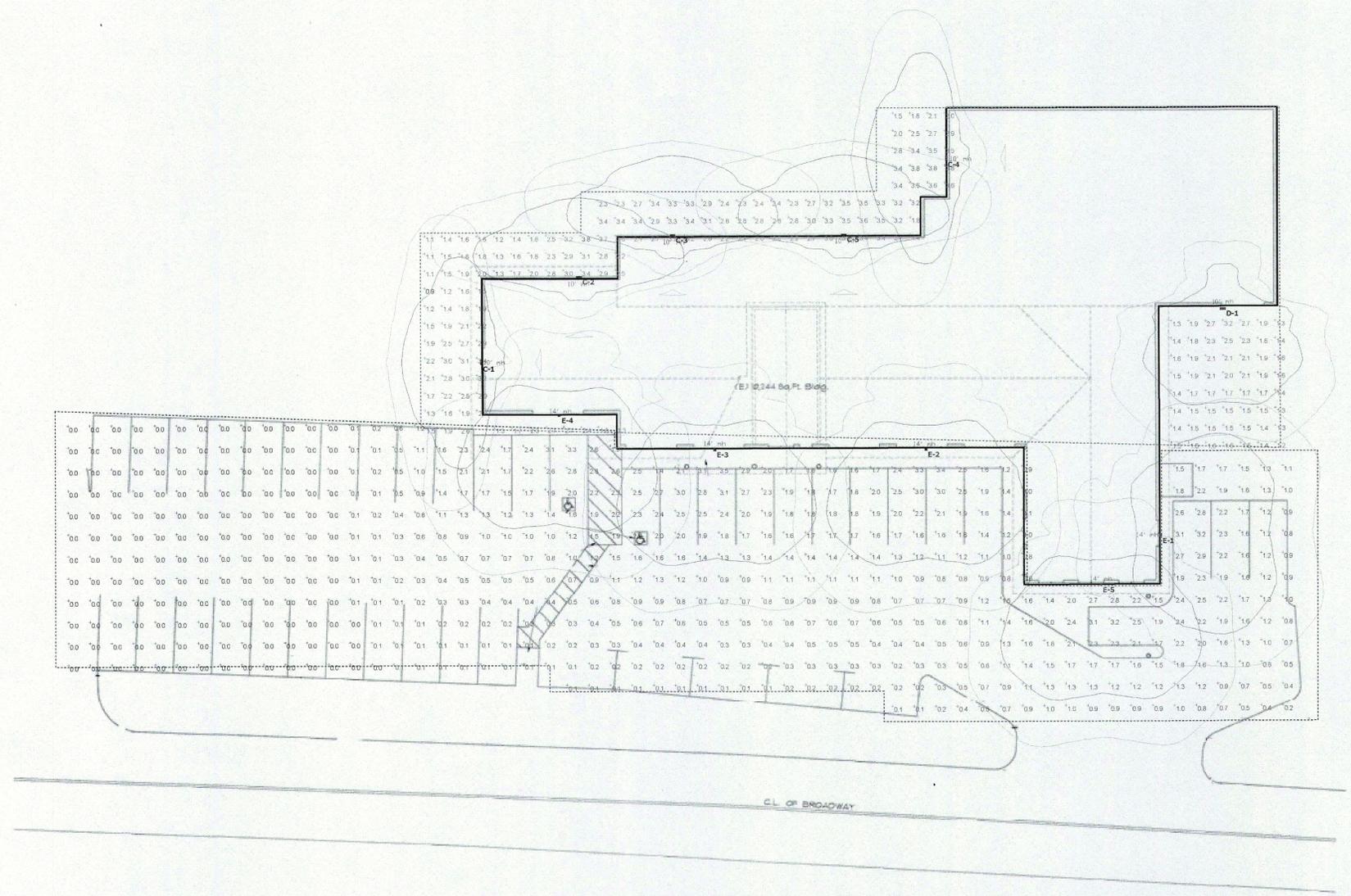
**HANGTOWN RANGE**  
**INDOOR SHOOTING RANGE**  
 1540 BROADWAY  
 PLACERVILLE, CA 95667

ELECTRICAL SYSTEM DESIGN FOR  
 INSTALLATION BY CHASE ELECTRIC INC.  
 P.O. BOX 309, DIAMOND SPRINGS, CA 95619  
 SIGNED BY \_\_\_\_\_  
 LIC. # 721509 TEL: 530-821-1020

**LIGHTING**  
 Job No.: 16.05 Date: 10.31.16  
 bELTA 1 3/20/17  
**E2**  
 Sheet 2 of 4

Plan View  
 Scale - 1/8" = 1'

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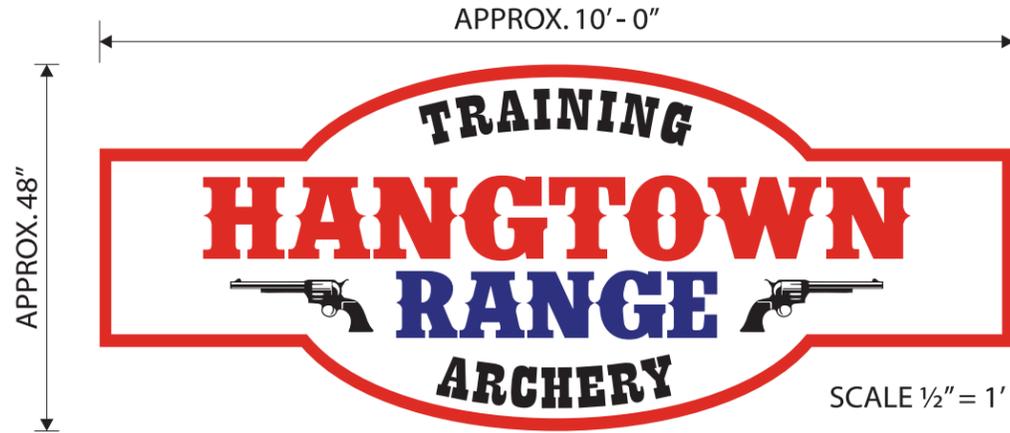
Symbol	Label	QTY	Catalog Number	Description	Lamp	Number Lamps	LEF	Wattage
☐	C	5	DSXW1 LED 10C 700 40K T2M MVOLT	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 700mA.	LED	1	0.95	26.2
☐	D	1	DSXW1 LED 20C 350 30K TFFM MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TFFM OPTIC, 3000K, @ 350mA.	LED	1	0.95	23.3
☐	E	5	DSXW1 LED 20C 700 40K TFFM MVOLT	DSXW1 LED WITH 2 LIGHT ENGINES, 20 LED'S, 700mA DRIVER, 4000K LED, TYPE FORWARD THROW MEDIUM OPTIC	LED	1	0.95	47

Luminaire Locations		Location			
No.	Label	X	Y	Z	MH
1	C	-31.81	18.99	10.00	10.00
2	C	-9.31	38.44	10.00	10.00
3	C	12.23	48.10	10.00	10.00
4	C	75.46	65.84	10.00	10.00
5	C	51.74	48.16	10.00	10.00
1	D	139.02	31.15	10.00	10.00
1	E	124.51	-20.95	14.00	14.00
2	E	70.52	-1.06	14.00	14.00
3	E	21.82	-1.00	14.00	14.00
4	E	-13.91	6.93	14.00	14.00
5	E	110.76	-32.12	14.00	14.00

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HANGTOWN RANGE SITE

HANGTOWN RANGE  
1540 BROADWAY  
PLACERVILLE, CA



NON-ILLUMINATED WALL SIGN PANEL WITH VINYL COPY

**FIELD SURVEY REQUIRED PRIOR TO FABRICATION**



**WESTERN  
SIGN COMPANY**  
SINCE 1959

6221 ENTERPRISE DRIVE, DIAMOND SPRINGS, CA 95619

Phone 916.933-3765 • 530.622-1420 Fax 530.622-9367  
E-Mail design@westernsign.com Website www.westernsign.com

SALESPERSON	Keith Wills
ILLUSTRATION	Perry Wilson
LOCATION	Placerville, CA
DATE	12/28/16
REVISED	03/06/17
	03/07/17

CUSTOMER APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

COLORS ON THIS PRINTOUT MAY VARY SLIGHTLY FROM FINAL MATERIALS COLORS. APPROVAL OF THIS ILLUSTRATION INCLUDES APPROVAL OF THE FINAL MATERIALS COLORS AS DESCRIBED IN THE WRITTEN CALLOUT. WRITTEN DIMENSIONS ON THIS ILLUSTRATION HAVE PRECEDENCE OVER SCALED DIMENSIONS. ILLUSTRATIONS SHOWING BUILDING ELEVATIONS ARE CONCEPTUAL AND TO APPROXIMATE SCALE ONLY. THEY ARE NOT TO BE CONSIDERED AN EXACT IMAGE OF HOW THE FINISHED SIGN WILL APPEAR. THIS IS AN ORIGINAL UNPUBLISHED DRAWING CREATED BY WESTERN SIGN CO., INC. IT IS SUBMITTED FOR YOUR APPROVAL. IT IS NOT TO BE SHOWN TO ANYONE OUTSIDE YOUR ORGANIZATION NOR IS IT TO BE REPRODUCED, COPIED OR EXHIBITED IN ANY FASHION WITHOUT EXPRESSED WRITTEN PERMISSION OF WESTERN SIGN CO., INC.

LANDLORD APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

SALESPERSON SIGNOFF \_\_\_\_\_ DATE \_\_\_\_\_



HANGTOWN RANGE  
1540 BROADWAY  
PLACERVILLE, CA



SCALE 1/4" = 1'

NEW FACE FOR EXISTING D/F ILLUMINATED POLE SIGN

**FIELD SURVEY REQUIRED PRIOR TO FABRICATION**

EXISTING SIGN



NEW FACES



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E-Mail design@westernsign.com Website www.westernsign.com

SALESPERSON Keith Wills  
ILLUSTRATION Perry Wilson  
LOCATION Placerville, CA  
DATE 12/28/16  
REVISED 03/06/17  
03/07/17

CUSTOMER APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

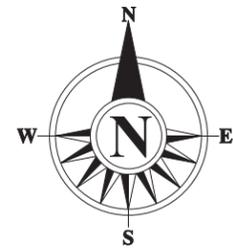
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LANDLORD APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

SALESPERSON SIGNOFF \_\_\_\_\_ DATE \_\_\_\_\_



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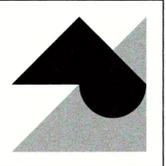
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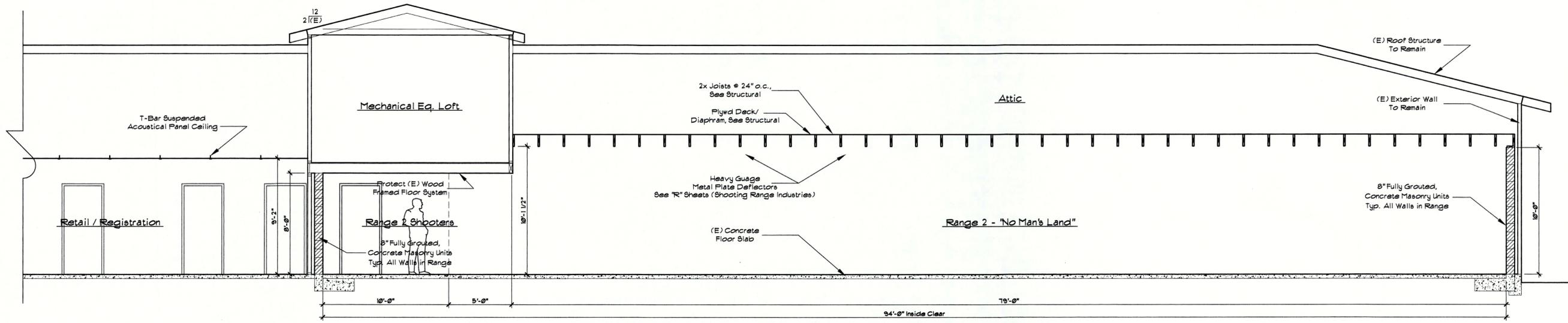
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SALESPERSON SIGNOFF \_\_\_\_\_ DATE \_\_\_\_\_

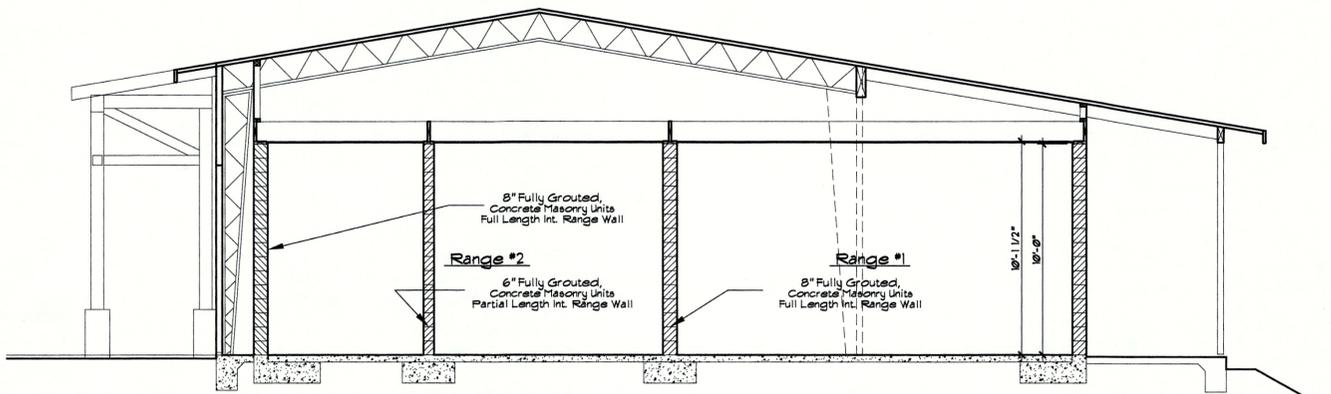




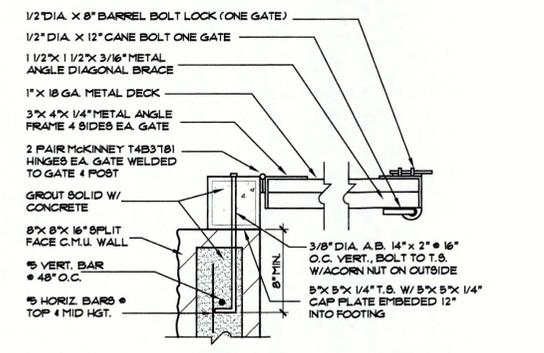
MARK N. ROBERTS  
ARCHITECT  
805 Sutter Street, Suite 240  
Folsom, CA 95630  
Tel/Fax 916.608.0833



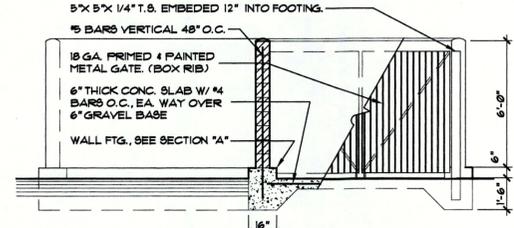
A-A SECTION THRU SHOOTING RANGE - 1/4"



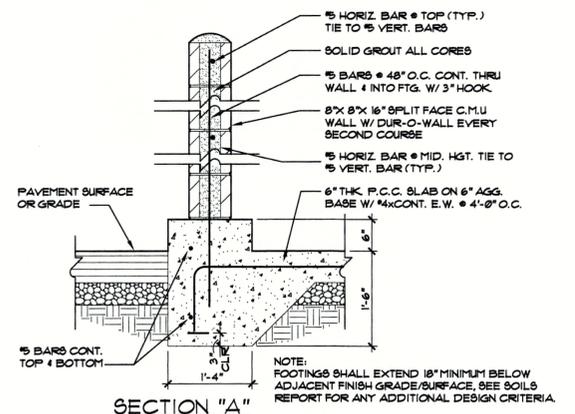
B-B SECTION THRU SHOOTING RANGE - 1/4"



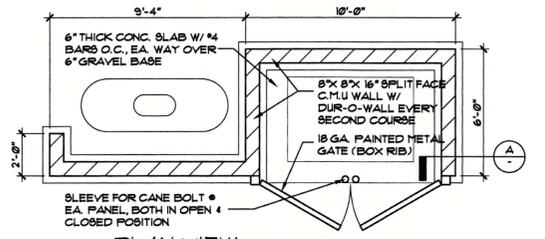
JAMB DETAIL



ELEVATION

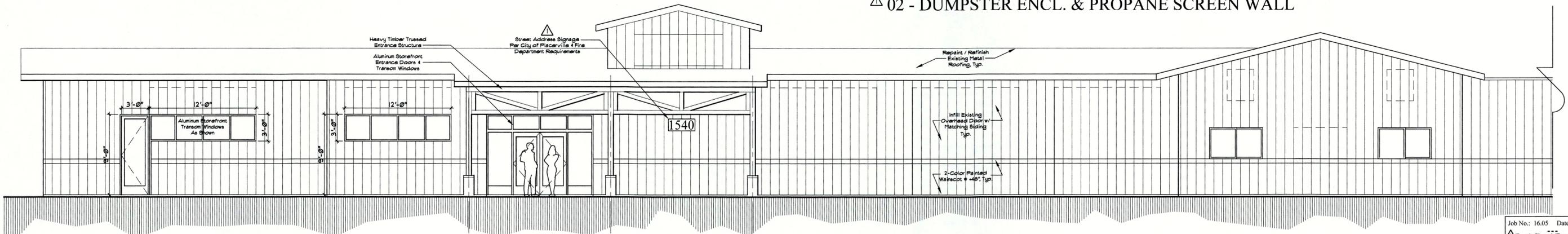


SECTION "A"



PLAN VIEW

02 - DUMPSTER ENCL. & PROPANE SCREEN WALL



NORTH EXTERIOR ELEVATION - 3/16"

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HANGTOWN RANGE  
INDOOR SHOOTING RANGE  
REMODEL / RENOVATE 1540 BROADWAY  
PLACERVILLE, CA 95667

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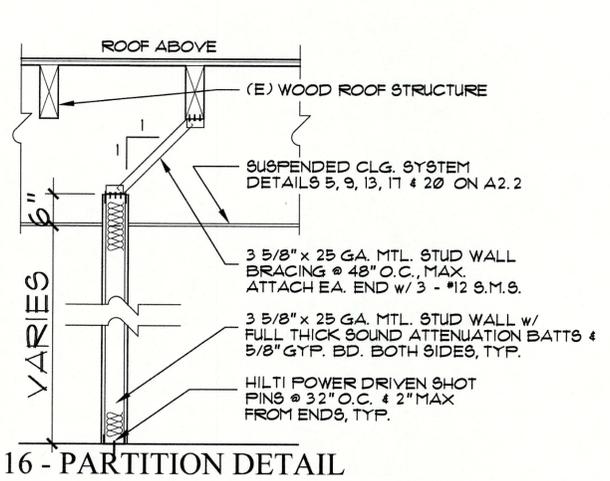
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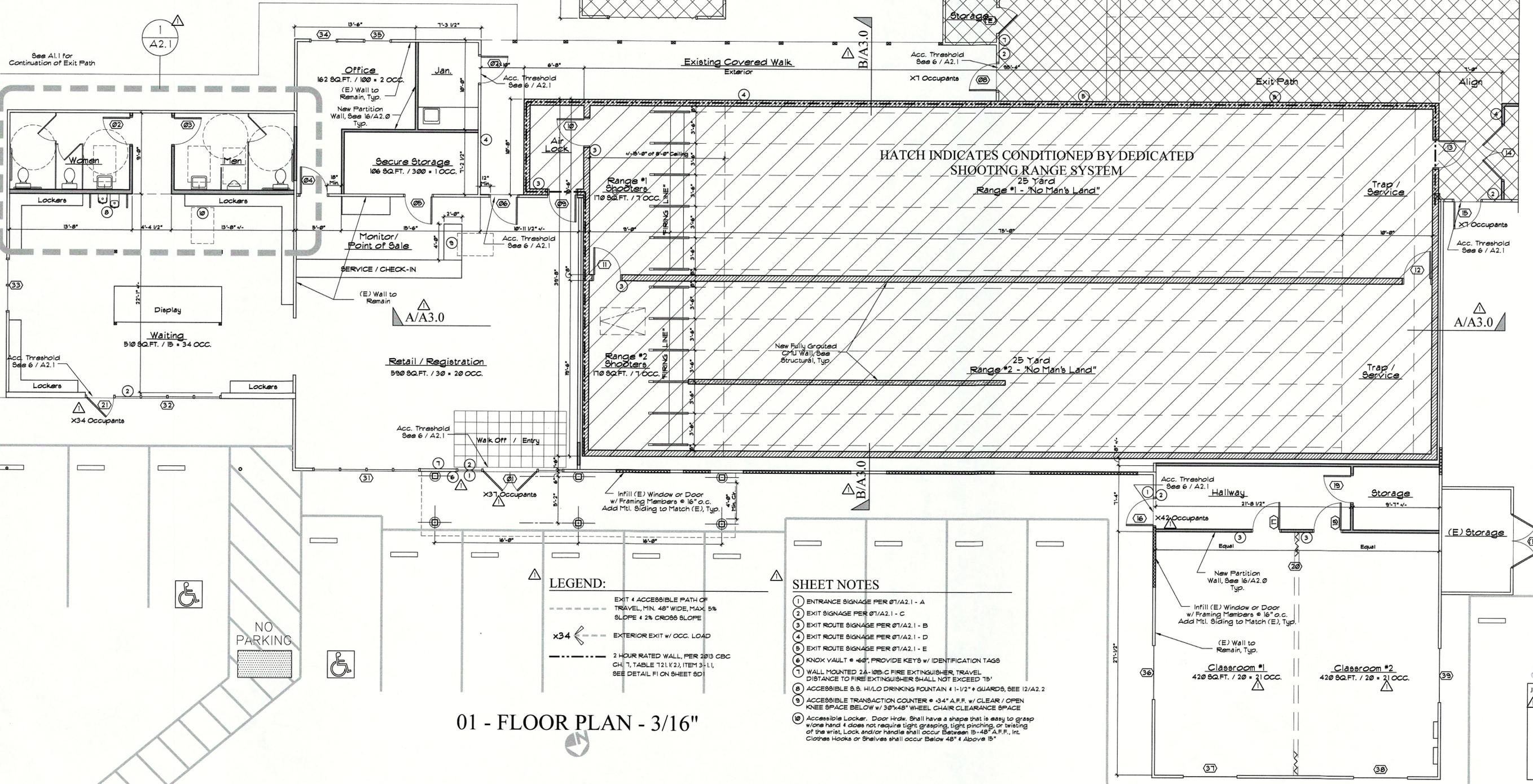
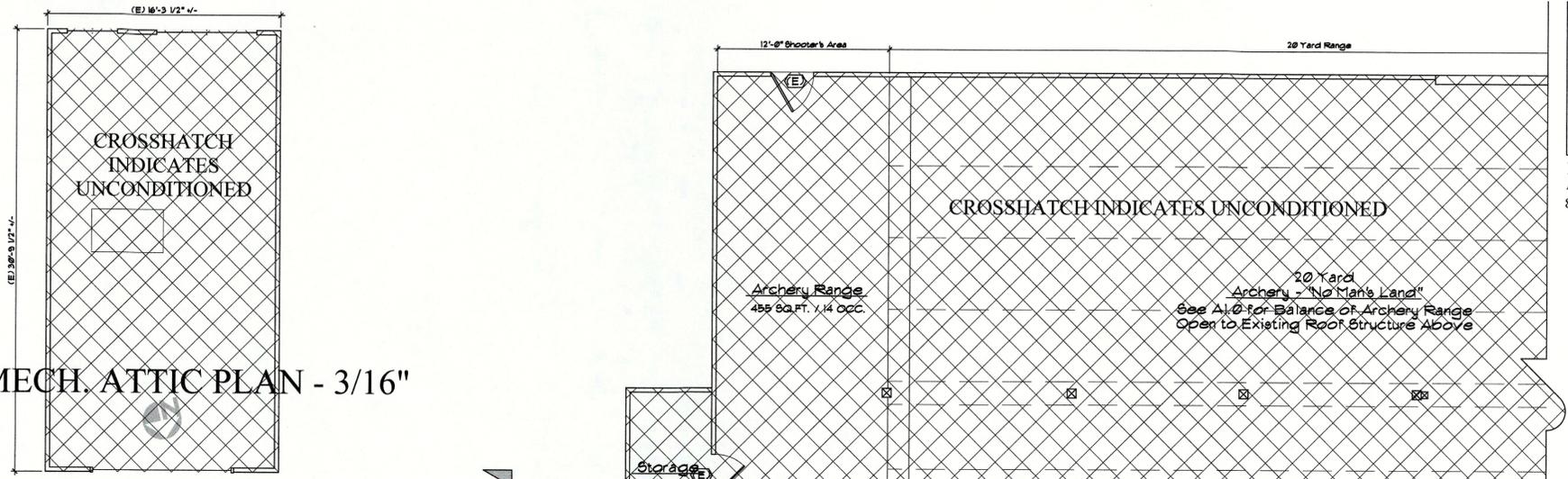
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02 - MECH. ATTIC PLAN - 3/16"



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- LEGEND:**
- EXIT 4 ACCESSIBLE PATH OF TRAVEL, MIN. 48\"/>

- SHEET NOTES**
- 1 ENTRANCE SIGNAGE PER 07/A2.1 - A
  - 2 EXIT SIGNAGE PER 07/A2.1 - C
  - 3 EXIT ROUTE SIGNAGE PER 07/A2.1 - B
  - 4 EXIT ROUTE SIGNAGE PER 07/A2.1 - D
  - 5 EXIT ROUTE SIGNAGE PER 07/A2.1 - E
  - 6 KNOX VAULT @ 48\", PROVIDE KEYS w/ IDENTIFICATION TAGS
  - 7 WALL MOUNTED 2A-10B-C FIRE EXTINGUISHER, TRAVEL DISTANCE TO FIRE EXTINGUISHER SHALL NOT EXCEED 75'
  - 8 ACCESSIBLE B.S. HI/LO DRINKING FOUNTAIN @ 1-1/2\"/>

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Sheet \_\_\_ of \_\_\_



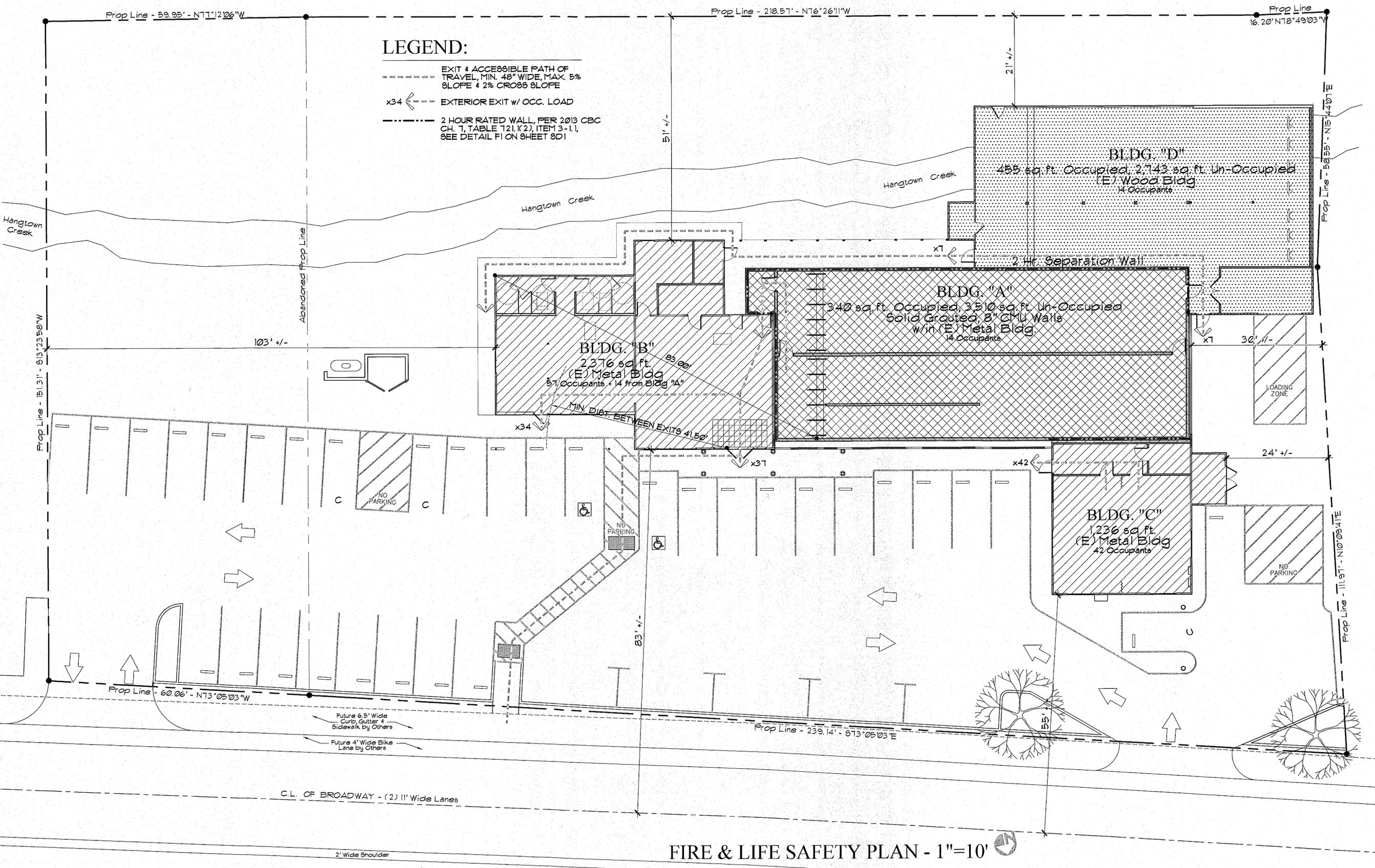
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**HANGTOWN RANGE**  
INDOOR SHOOTING RANGE  
REMODEL / RENOVATE 1540 BROADWAY  
PLACERVILLE, CA 95667

**LEGEND:**

- EXIT & ACCESSIBLE PATH OF TRAVEL, MIN. 48" WIDE, MAX. 5% SLOPE & 2% CROSS SLOPE
- EXTERIOR EXIT w/ OCC. LOAD
- 2 HOUR RATED WALL, PER 2013 CBC CH. 7, TABLE 721.1(2), ITEM 3-1.1, SEE DETAIL F1 ON SHEET 9D1



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**FIRE & LIFE SAFETY PLAN - 1"=10'**

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Prop Line - 59.95' - N77°12'06"W

Prop Line - 218.51' - N76°26'11"W

Prop Line 16.20' N78°49'03"W

### CONSTRUCTION NOTES

DRAWINGS REPRESENT THE DESIRED RESULT OF CONSTRUCTION. THE METHODS OF CONSTRUCTION & THE RISKS INVOLVED DURING CONSTRUCTION ARE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL MAINTAIN THE BUILDING'S STRUCTURAL INTEGRITY AT ALL STAGES OF CONSTRUCTION.

PRIOR TO STARTING CONSTRUCTION THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ALL REQUIRED PERMITS & APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION OF ANY ITEM SHALL BEGIN UNTIL CONTRACTOR HAS RECEIVED ALL PLANS & ANY OTHER DOCUMENTATION FROM ALL OF THE PERMITTING & ANY OTHER REGULATORY AUTHORITIES. FAILURE TO FOLLOW THIS PROCEDURE SHALL CAUSE THE CONTRACTOR TO ASSUME FULL RESPONSIBILITY FOR ANY SUBSEQUENT MODIFICATION OF WORK MANDATED BY ANY REGULATORY AUTHORITY.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS & ELEVATIONS PRIOR TO COMMENCEMENT OF WORK. DISCREPANCIES IN DIMENSIONS WHICH MAY BE FOUND SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION FOR HIS DECISION BEFORE PROCEEDING WITH WORK IN THE AFFECTED AREA. CONTRACTORS SHALL FOLLOW SIZES IN CONSTRUCTION DOCUMENTS OR FIGURES ON THE DRAWINGS IN PREFERENCE TO SCALE MEASUREMENTS. FOLLOW DETAIL DRAWINGS IN PREFERENCE TO GENERAL DRAWINGS.

WHERE IT IS OBVIOUS THAT A DRAWING ILLUSTRATES ONLY A PART OF A GIVEN WORK OR A NUMBER OF ITEMS, THE REMAINDER SHALL BE DEEMED REPETITIVE AND SO CONSTRUCTED.

DIMENSIONS SHOWN ON THE PLANS ARE TO FACE OF STUDS OR CONCRETE OR TO CENTERLINE OF COLUMNS, U.O.N.

### DRAWING INDEX

- A1.0 SITE PLAN, PROJECT INFO. & GEN. NOTES
- A1.1 FIRE & LIFE SAFETY PLAN
- A2.0 FLOOR PLAN
- A2.1 DOOR SCHEDULE, ENLARGED TOILET ROOM PLAN & DETAILS
- A2.2 REFLECTED CEILING PLAN & DETAILS
- A3.0 BUILDING SECTION & EXTERIOR ELEVATIONS

### PROJECT INFORMATION

CODES: ALL CONSTRUCTION PERFORMED SHALL COMPLY COMPLY W/ THE 2013 C.B.C., C.M.C., C.P.C., C.E.C., N.E.C. & CALIFORNIA ENERGY CODE, & OF COURSE THE CBC, AS AMENDED BY THE STATE OF CALIFORNIA & LOCAL JURISDICTION

PROJECT: CONVERT EXISTING TIRE REPLACEMENT / AUTO REPAIR SHOP TO INDOOR SHOOTING & ARCHERY RANGES & 2 CLASSROOMS, UPGRADE PARKING LOT, SITE & BUILDING ACCESSIBILITY

OWNER/TENANT: DICK ROOD (930) 621-1173  
221 SWANBORO ROAD, PLACERVILLE, CA 95667

APN: 004-201-13-100

OCCUPANCY: GROUP B & M

CONSTRUCTION: V-B

BLDG. / TENANT AREA - GROSS: 10,847 SQ.FT.

BLDG. / TENANT AREA - NET: 4,330 SQ.FT. (LESS UN-OCCUPIED RANGE AREAS)

ALLOWABLE PER CBC 503: 12,810 SQ.FT. (9,000 + 0.43x9,000)

SPRINKLERS: NO

STORIES: 1 + MECHANICAL LOFT

HEIGHT: 24 FT.

PARKING SPACES: 38 (INCLUDING 2 ACCESSIBLE SPACES & 3 COMPACTS)

OCCUPANCY LOAD: Bldg "A" and "B" = 71

Bldg "C" = 42

Bldg "D" = 14

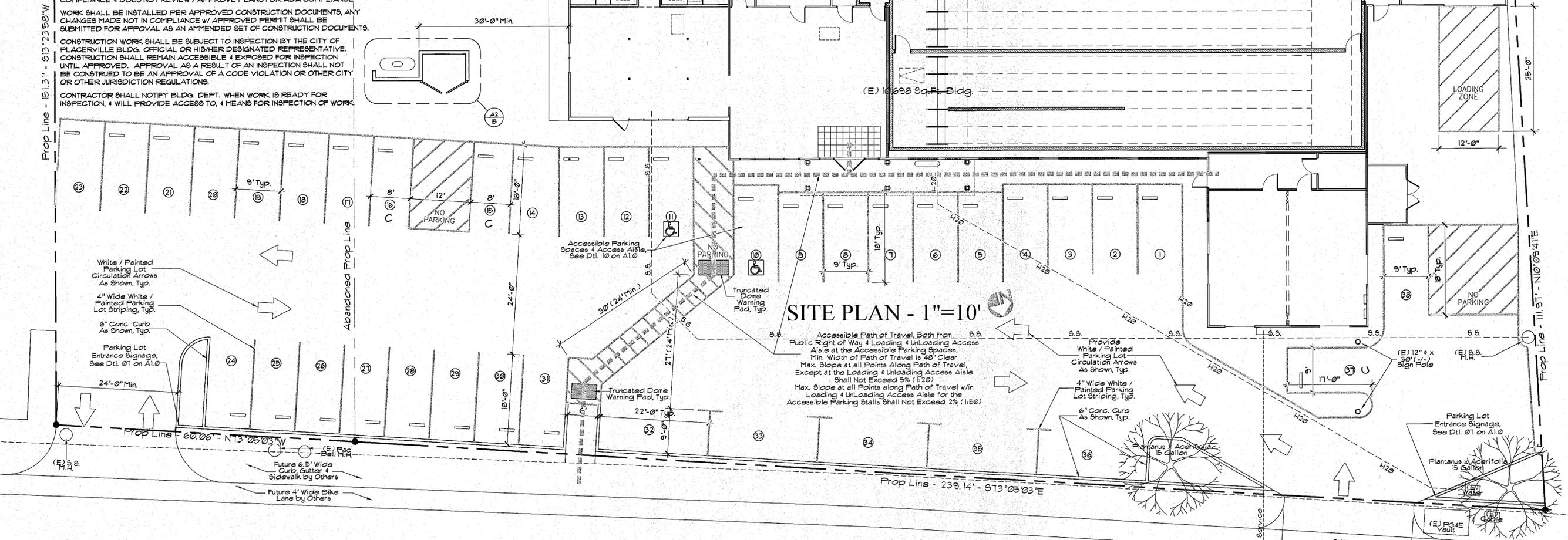
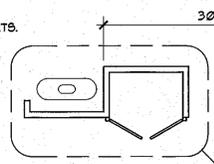
### BUILDING DEPARTMENT NOTES

THE BUILDING DEPT. ENFORCES CBC CHAPTER 11B FOR DISABLED ACCESS COMPLIANCE & DOES NOT REVIEW / APPROVE PLANS FOR ADA COMPLIANCE

WORK SHALL BE INSTALLED PER APPROVED CONSTRUCTION DOCUMENTS, ANY CHANGES MADE NOT IN COMPLIANCE W/ APPROVED PERMIT SHALL BE SUBMITTED FOR APPROVAL AS AN AMENDED SET OF CONSTRUCTION DOCUMENTS.

CONSTRUCTION WORK SHALL BE SUBJECT TO INSPECTION BY THE CITY OF PLACERVILLE BLDG. OFFICIAL OR HIS/HER DESIGNATED REPRESENTATIVE. CONSTRUCTION SHALL REMAIN ACCESSIBLE & EXPOSED FOR INSPECTION UNTIL APPROVED. APPROVAL AS A RESULT OF AN INSPECTION SHALL NOT BE CONSTRUED TO BE AN APPROVAL OF A CODE VIOLATION OR OTHER CITY OR OTHER JURISDICTION REGULATIONS.

CONTRACTOR SHALL NOTIFY BLDG. DEPT. WHEN WORK IS READY FOR INSPECTION, & WILL PROVIDE ACCESS TO, & MEANS FOR INSPECTION OF WORK



### SITE PLAN - 1"=10'

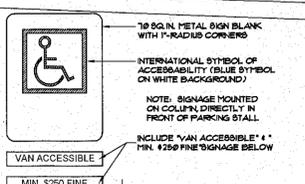
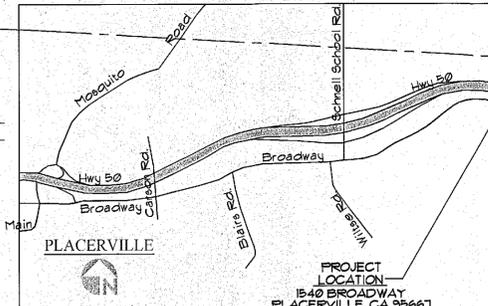
Accessible Path of Travel, Both from Public Right of Way & Loading & Unloading Access Aisles at the Accessible Parking Spaces. Min. Width of Path of Travel is 48" Clear. Max. Slope at all Points Along Path of Travel, Except at the Loading & Unloading Access Aisle shall Not Exceed 5% (1:20). Max. Slope at all Points along Path of Travel w/in Loading & Unloading Access Aisle for the Accessible Parking Stalls shall Not Exceed 2% (1:50).

Provide White / Painted Parking Lot Circulation Arrows As Shown, Typ.

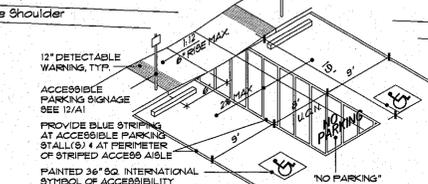
4" Wide White / Painted Parking Lot Striping, Typ.

6" Conc. Curb As Shown, Typ.

### VICINITY MAP



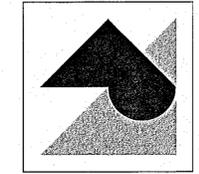
12 - ACC. PARKING SIGN



10 - ACC. PRK'G. LAYOUT



07 - PARKING LOT SIGN



MARK N. ROBERTS ARCHITECT  
805 Sutter Street, Suite 240  
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